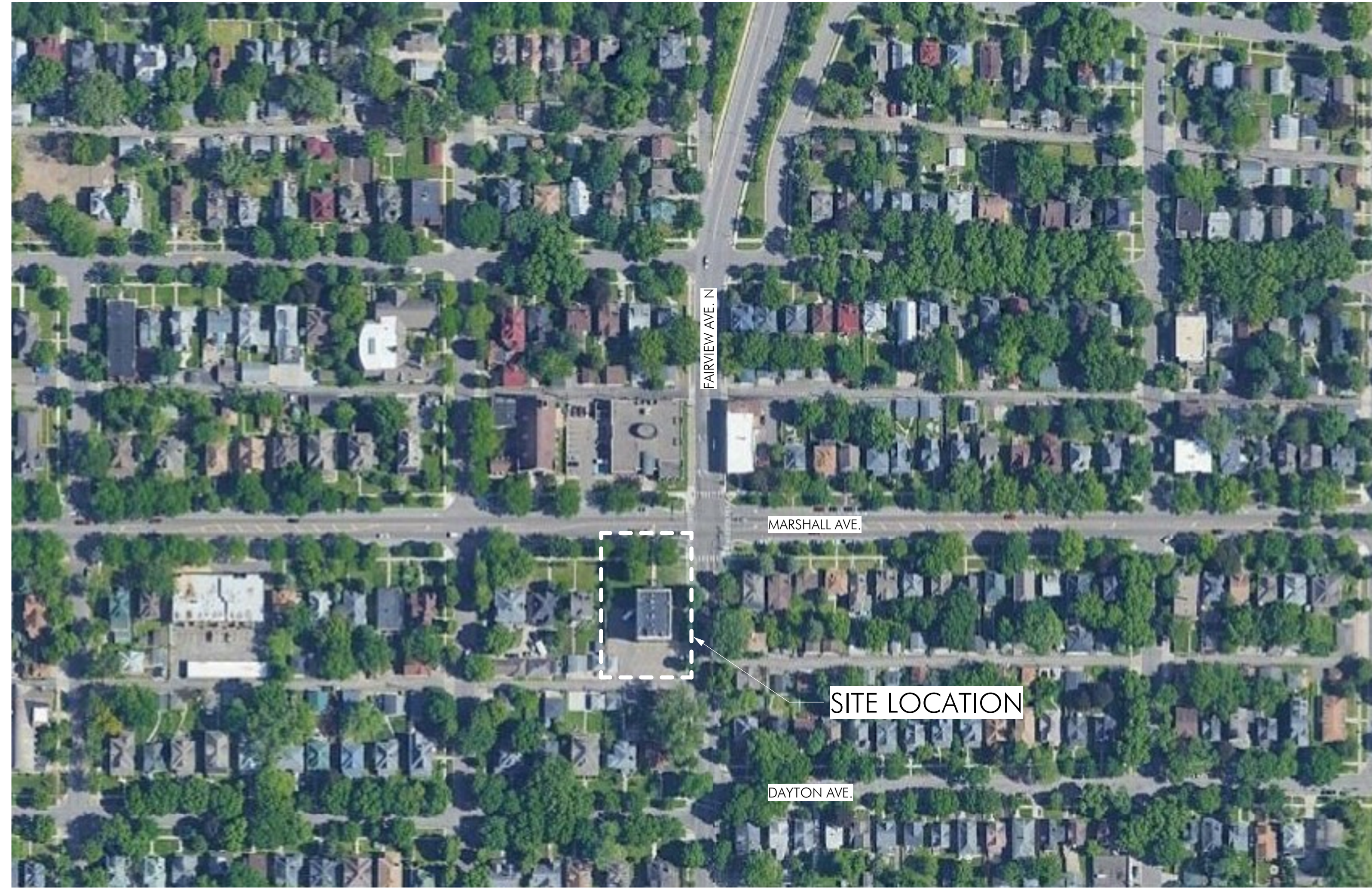


# CHARLES THOMPSON MEMORIAL HALL - Rehabilitation, HVAC Upgrade, & Addition

1824 Marshall Avenue, Saint Paul, MN 55104



1 Site Map  
G000

## GENERAL NOTES

The building is to be fully protected from damage during the course of construction. All damaged areas and finishes resulting from this work are to be restored by the contractor to match existing construction.

The contractor shall verify all existing conditions and dimensions in the field before beginning work.

The contractor shall immediately report any discrepancies between drawings and existing conditions and dimensions to the architect for resolution.

Do not scale drawings.

Where "repair" or "in-fill" is indicated on the drawings, the repair or in-fill item is to match and blend with adjacent surfaces and features in all respects.

All construction is new unless specifically noted as existing.

Where "match" is indicated on the drawings, the item is to be duplicated in all respects including, but not necessarily limited to, dimension, construction method, material, profile, and finish.

Where "repair" or "in-fill" is indicated on the drawings, the repair or in-fill item is to match and blend with adjacent surfaces and features in all respects.

## OWNER CONTACT

Herman Fuechtmann  
Charles Thompson Memorial Hall  
1824 Marshall Avenue  
Saint Paul, MN 55104  
Email: hermanfuechty@gmail.com

## PROJECT CONTACTS

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Saint Paul, MN 55104  
Email: hermanfuechty@gmail.com

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MacDonald & Mack Architects, Ltd.  
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**Collaborating Architect**  
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Gregg Hackett Architect  
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**Structural Engineering**  
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**Mechanical, Electrical, and Plumbing Engineering**  
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Hallberg Engineering  
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White Bear Lake, MN 55110  
T: 651.748.1100

**Civil Engineering**  
Troy Gamble  
Anderson Engineering  
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Plymouth, MN 55441  
T: 763.412.4022

**Elevator**  
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Elevator Advisory Group, Inc.  
14530 Pennock Avenue, Suite 104  
Apple Valley, MN 55124  
T: 952.432.4443  
F: 952.432.4449

DRAWING INDEX	
SHEET NO.	SHEET NAME
GENERAL	
G000	COVER
-	SURVEY
CIVIL	
DI.0	DEMOLITION PLAN
C1.0	SITE & UTILITY PLAN
C2.0	GRADING & EROSION CONTROL PLAN
C3.0	DETAILS
C4.0	DETAILS
ARCHITECTURE	
A001	KEYNOTES & LIFE SAFETY PLAN
A101	DEMOLITION PLANS & DEMOLITION RCPS
A102	DEMOLITION PLANS & DEMOLITION RCPS
A151	CONSTR PLANS & ENLARGED PLANS
A152	CONSTR PLANS & ENLARGED PLANS
A153	CONSTR REFLECTED CEILING PLANS & LIGHT FIXTURE SCH.
A154	SPRINKLER RCP DIAGRAM
A201	DEMOLITION NORTH & SOUTH BUILDING ELEV
A202	DEMOLITION EAST & WEST BUILDING ELEVATION
A251	CONSTRUCTION BUILDING ELEVATIONS
A252	CONSTRUCTION BUILDING ELEVATIONS
A253	PORCH/BALCONY PLANS & SECTIONS
A301	BUILDING SECTIONS & DETAILS
A302	BUILDING SECTIONS & DETAILS
A401	LOWER LEVEL RESTROOM PLAN & ELEVATIONS
A402	RESTROOM PLANS & ELEV, PLUMBING SCHEDULE
A403	INTERIOR ELEVATIONS
A404	INTERIOR ELEVATIONS
A405	INTERIOR ELEVATIONS
A501	DETAILS - ADDITION
A601	FINISH SCHEDULES
A602	WINDOWS & DOORS SCHEDULE
A603	PARTITION & GLAZING SCHEDULES
STRUCTURAL	
S000	STRUCTURAL NOTES AND SPECIAL INSPECTIONS
S100	FOUNDATION PLAN
S101	FIRST FLOOR FRAMING PLAN
S102	SECOND FLOOR FRAMING PLAN
S103	THIRD FLOOR FRAMING PLAN
S104	ROOF FRAMING PLAN
S200	FOUNDATION DETAILS AND SECTIONS
S210	FLOOR FRAMING DETAILS AND SECTIONS
S211	FLOOR FRAMING DETAILS AND SECTIONS
S220	ROOF FRAMING DETAILS AND SECTIONS
ELECTRICAL	
E000	ELECTRICAL TITLE SHEET AND SYMBOL LEGEND
E001	LOWER LEVEL ELECTRICAL DEMOLITION PLAN
E011	FIRST FLOOR ELECTRICAL DEMOLITION PLAN
E021	SECOND FLOOR ELECTRICAL DEMOLITION PLAN
E031	THIRD FLOOR ELECTRICAL DEMOLITION PLAN
E101	LOWER LEVEL LIGHTING PLAN
E111	FIRST FLOOR LIGHTING PLAN
E121	SECOND FLOOR LIGHTING PLAN
E131	THIRD FLOOR LIGHTING PLAN
E201	LOWER LEVEL POWER PLAN
E211	FIRST FLOOR POWER PLAN
E221	SECOND FLOOR POWER PLAN
E231	THIRD FLOOR POWER PLAN
E241	ROOF POWER PLAN
E800	ELECTRICAL SCHEDULES AND POWER RISER DIAGRAM
MECHANICAL	
M000	MECHANICAL TITLE SHEET
M001	LOWER LEVEL MECHANICAL DEMOLITION PLAN
M011	FIRST FLOOR MECHANICAL DEMOLITION PLAN
M021	SECOND FLOOR MECHANICAL DEMOLITION PLAN
M031	THIRD FLOOR MECHANICAL DEMOLITION PLAN
M041	ROOF MECHANICAL DEMOLITION PLAN
M101	LOWER LEVEL MECHANICAL PLAN
M111	FIRST FLOOR MECHANICAL PLAN
M121	SECOND FLOOR MECHANICAL PLAN
M131	THIRD FLOOR MECHANICAL PLAN
M141	ROOF MECHANICAL PLAN
M201	LOWER LEVEL PIPING PLAN
M211	FIRST FLOOR PIPING PLAN
M221	SECOND FLOOR PIPING PLAN
M231	THIRD FLOOR PIPING PLAN
M700	MECHANICAL DETAILS
M800	MECHANICAL SCHEDULES
PLUMBING	
P101	LOWER LEVEL PLUMBING PLAN
P111	FIRST FLOOR PLUMBING PLAN
P601	PLUMBING RISER DIAGRAMS
P700	PLUMBING DETAILS
P800	PLUMBING SCHEDULES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

REVISIONS		
No.	Description	Date

90% Legacy Grant Review

# EXISTING CONDITIONS SURVEY

SURVEY FOR: **MACDONALD & MACK ARCHITECTS**

SITE LOCATION:

1824 Marshall Avenue, St. Paul, Minnesota.

PROPERTY DESCRIPTION:

Lots 1 and 2, Block 1, SECOND ADDITION MERRIAM PARK, Ramsey County, Minnesota.

CERTIFICATION:

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated: July 24, 2020

Anderson Engineering of Minnesota, LLC

by:



David Anderson  
Minnesota License No. 43501































NOTES:

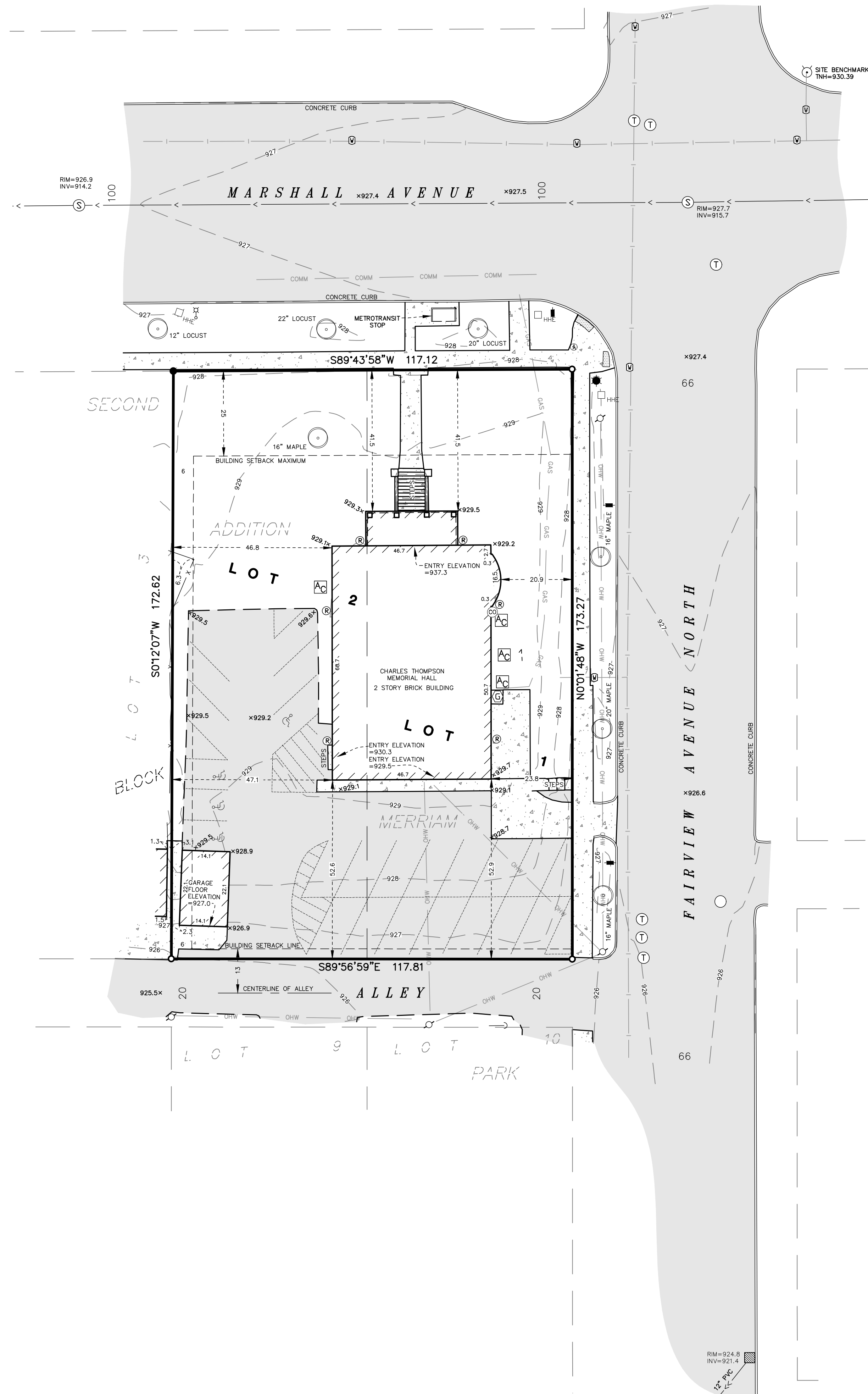
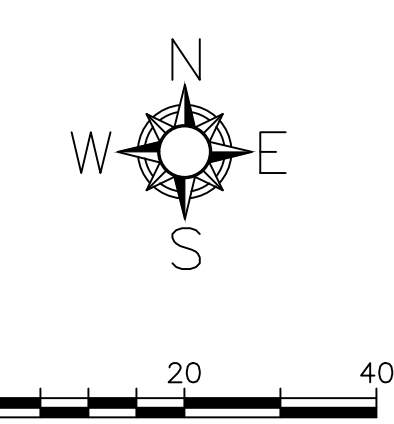
- The horizontal datum and bearings are based on the Ramsey County Coordinate System NAD83 (2011).
- The vertical datum is NAVD 88. The site benchmark is top nut of hydrant located in the northeast quadrant of Marshall Avenue and Fairview Avenue North (depicted hereon). Elevation = 930.39 feet.
- The location and extent of underground utilities, if shown, are based upon existing drawings provided by the utility companies, above ground evidence and Gopher State One Call markings per ticket number 201601176. Exclusive of excavation, there is no guarantee as to the accuracy or the completeness of this information. The size and location should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with Minnesota Statute, the location of utilities shall be confirmed prior to any demolition or construction.
- No title work was provided for the preparation of this survey to verify the legal description or the existence of any easements or encumbrances.
- According to the City of St. Paul, the subject property is zoned T1 (Traditional Neighborhood) and has the building setback requirements listed below. No zoning letter was provided for this survey. It is recommended that the property owner obtain a zoning letter from the City to verify all conditions that affect the property through the city zoning ordinance. This survey does not purport to describe all conditions contained in said ordinance.

### BUILDING SETBACKS

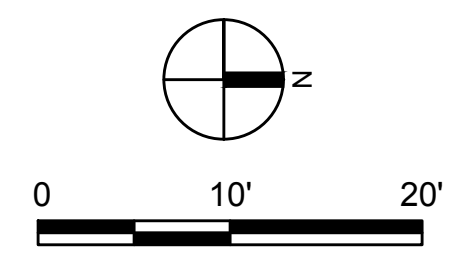
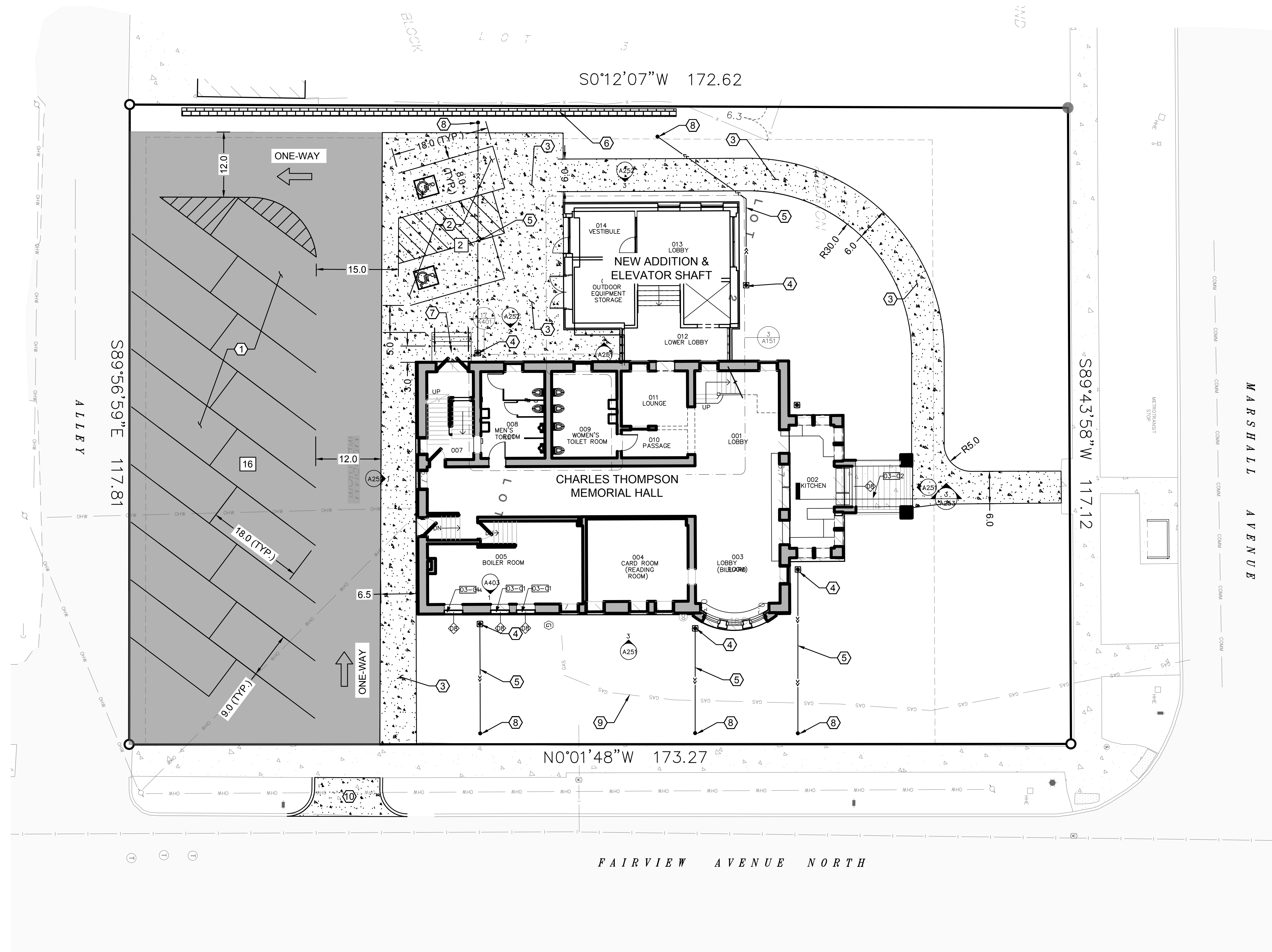
Front = 0-25 feet  
Rear = 13 feet from centerline of adjoining alley.  
Side = 6 feet

### LEGEND

	AIR CONDITIONER		COMMUNICATION
	CATCH BASIN		FENCE
	CLEAN OUT		GAS MAIN
	GAS METER		OVERHEAD WIRES
	HANDICAP PARKING		SANITARY SEWER
	HANDHOLE ELECTRIC		STORM SEWER
	HYDRANT		WATER MAIN
	LIGHT POLE		BITUMINOUS SURFACE
	MANHOLE		CONCRETE SURFACE
	POWER POLE		TRUNCATED DOMES
	PUSH BUTTON WALK		
	ROOF DRAIN		
	SANITARY MANHOLE		
	SEMAPHORE		
	SIGN		
	TELEPHONE MANHOLE		
	WATER VALVE		
	FOUND IRON MONUMENT		
	SET MONUMENT WITH L.S. NO. 43501		
	DECIDUOUS TREE		







**LEGEND**

- PROPERTY LINE
- NEW ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT
- NEW STORM SEWER
- NUMBER OF PARKING STALLS

**KEYNOTES**

- ① NEW ASPHALT PAVEMENT (1/23.0)
- ② NEW VEHICULAR CONCRETE PAVEMENT (2/23.0)
- ③ NEW PEDESTRIAN CONCRETE PAVEMENT (2/23.0)
- ④ NEW 12"x12" ROOF DRAIN CATCH BASIN (2/24.0)
- ⑤ NEW 6" HDPE ROOF DRAIN EXTENSION (1/23.0)
- ⑥ NEW RETAINING WALL. SEE STRUCTURAL
- ⑦ NEW STAIRS WITH HANDRAILS. SEE STRUCTURAL
- ⑧ NEW STORM POP-UP EMITTER (1/24.0)
- ⑨ PROTECT EXISTING GAS LINE
- ⑩ CITY OF ST. PAUL CONCRETE DRIVEWAY DETAIL (7/23.0)

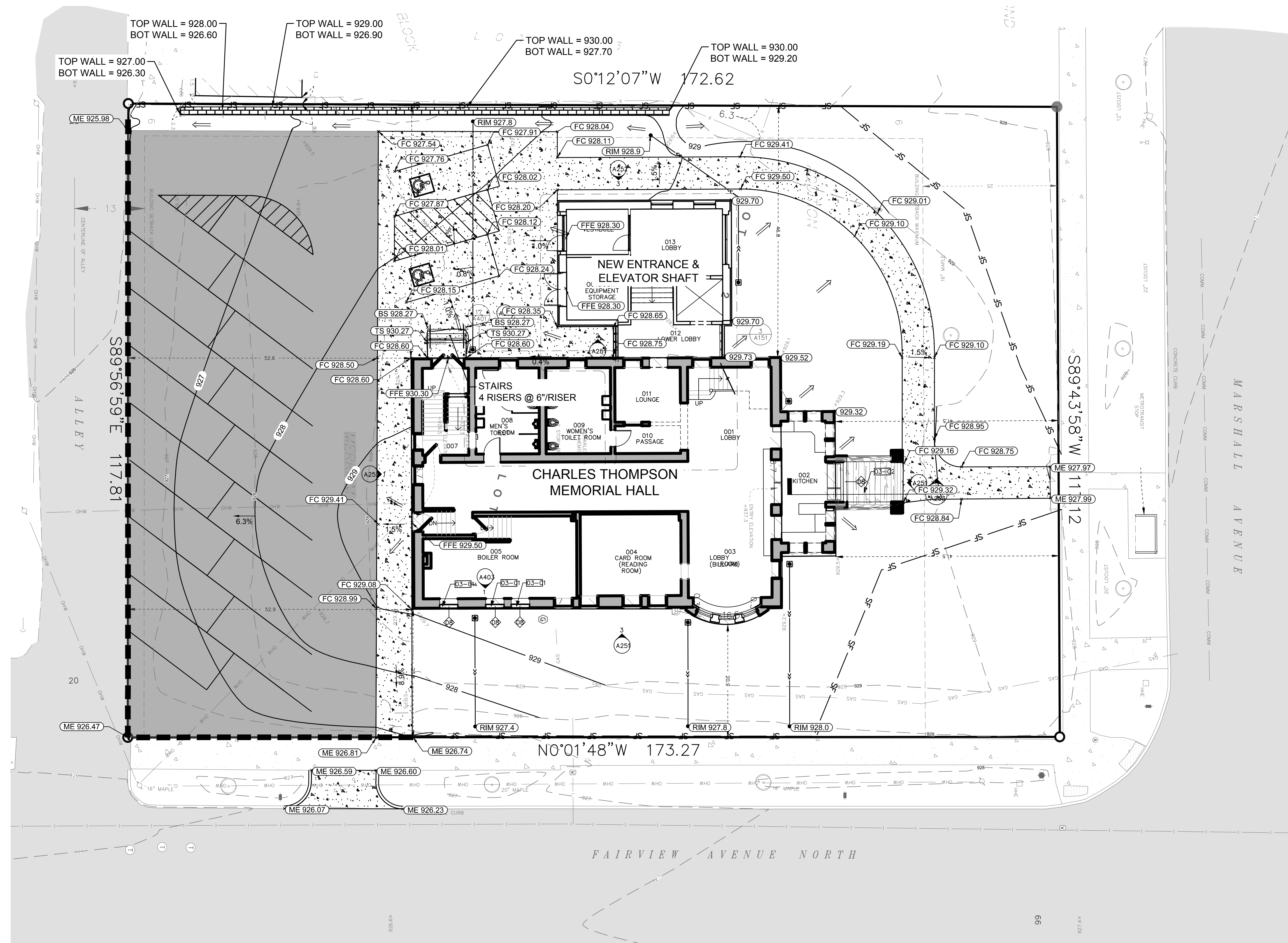
1 SITE PLAN  
SCALE: 1" = 10'

**MACDONALD & MACK**  
 ARCHITECTS  
 400 SOUTH FOURTH STREET STE 712 MINN  
 WWW.MACDONALD&MACK.COM MN 55403  
I hereby certify that this plan, specification, etc. was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.

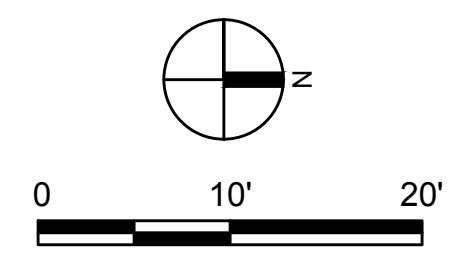
Charles Thompson Memorial Hall  
 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN PAT REVISI ON

SITE & UTILITY PLAN

C1.0



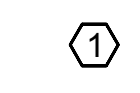
1 GRADING & EROSION CONTROL PLAN  
SCALE: 1" = 10'



**LEGEND**

	PROPERTY LINE
	CONSTRUCTION LIMITS
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	SILT FENCE
	BIOROLL
	EXISTING SPOT ELEVATION
	DRAINAGE ARROW
	SPOT ELEVATION
	TOP OF FINISHED CONCRETE
	MATCH EXISTING ELEVATION

**KEYNOTES**



**MACDONALD & MACK**  
ARCHITECTS  
400 SOUTH FOURTH STREET STE 7 12 MINN  
WWW.MACDONALDANDMACK.COM  
TEL: 612.338.1957 FAX: 612.338.1958

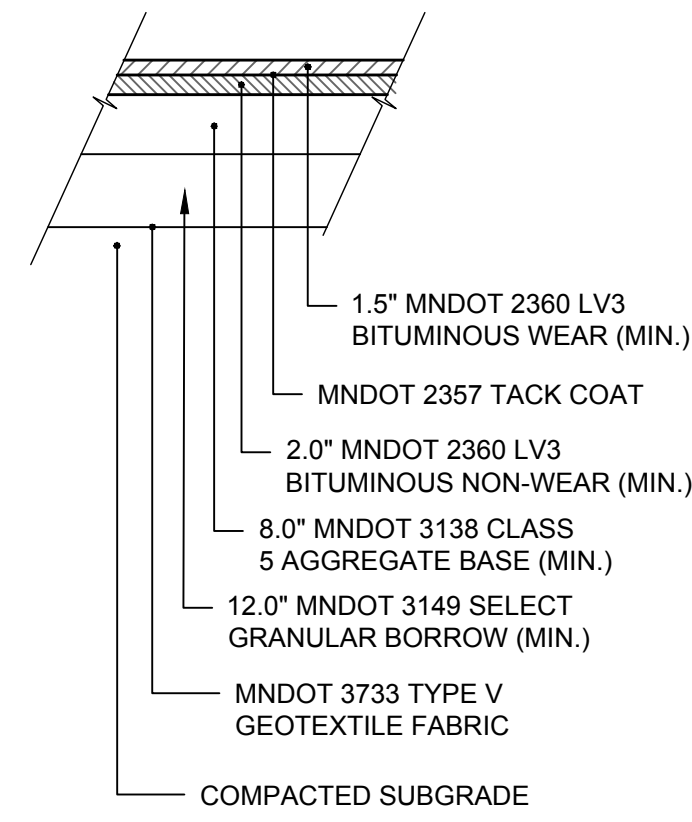
Charles Thompson Memorial Hall  
Rehabilitation, HVAC Upgrade, and Addition  
1824 Marshall Avenue, Saint Paul, MN 55104

GRADING & EROSION CONTROL PLAN

C2.0

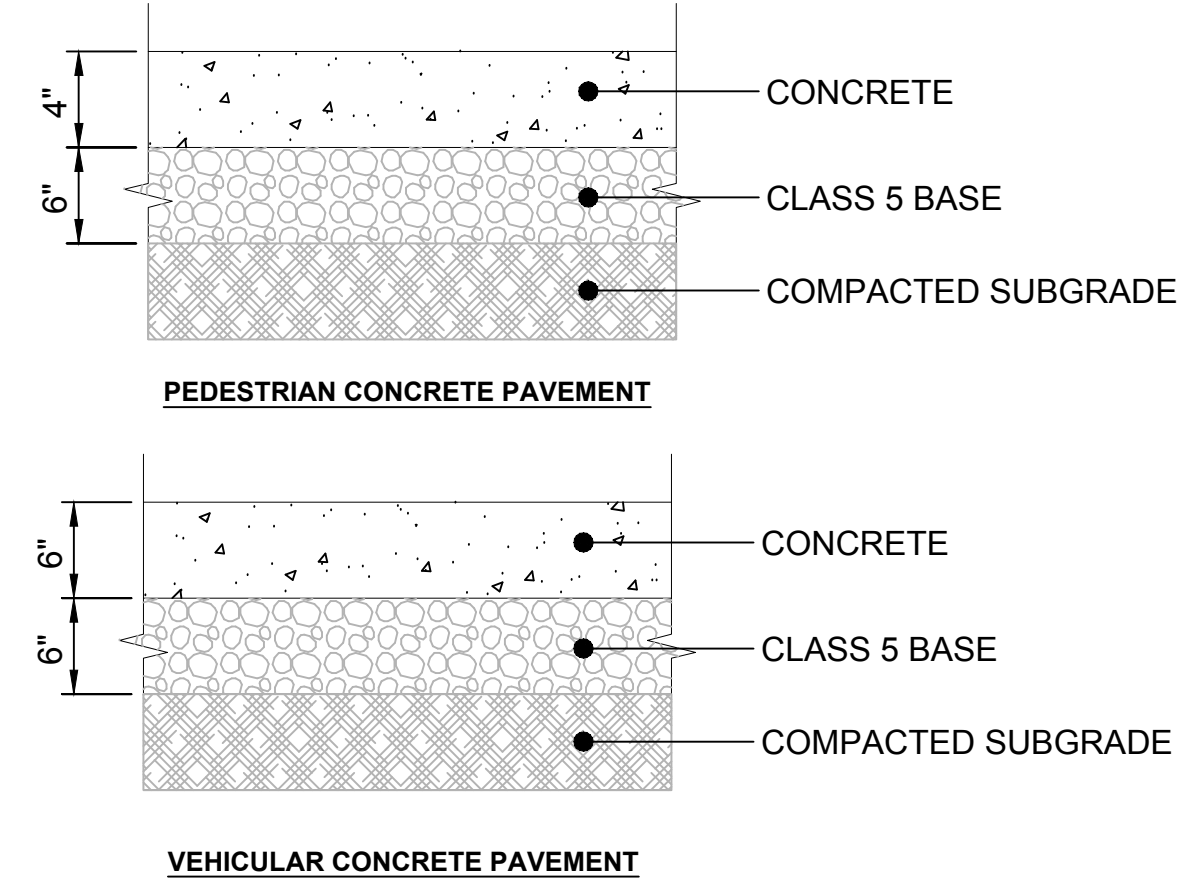
I have prepared this plan, specification, etc. to the best of my knowledge and belief, and I am not providing any warranty or guarantee of accuracy or completeness. I am not responsible for any errors or omissions in this plan, specification, etc. or for any consequences arising from its use.

DRAWN: PAT  
 REVISION: ON



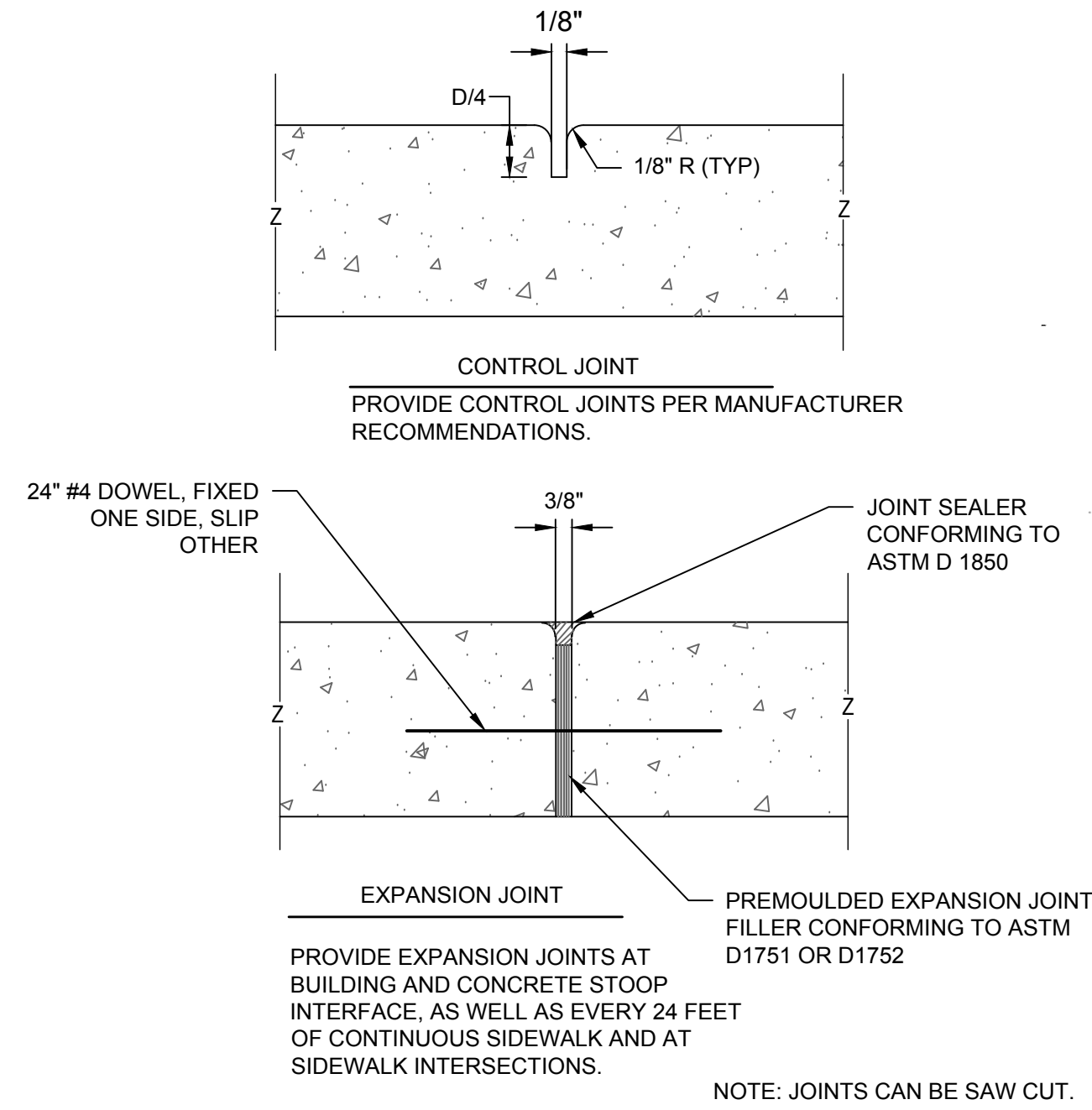
NOTES:  
1. SUBGRADE COMPACTION PER MNDOT SPEC 2105.3F1

1 ASPHALT PAVING SECTION  
NTS

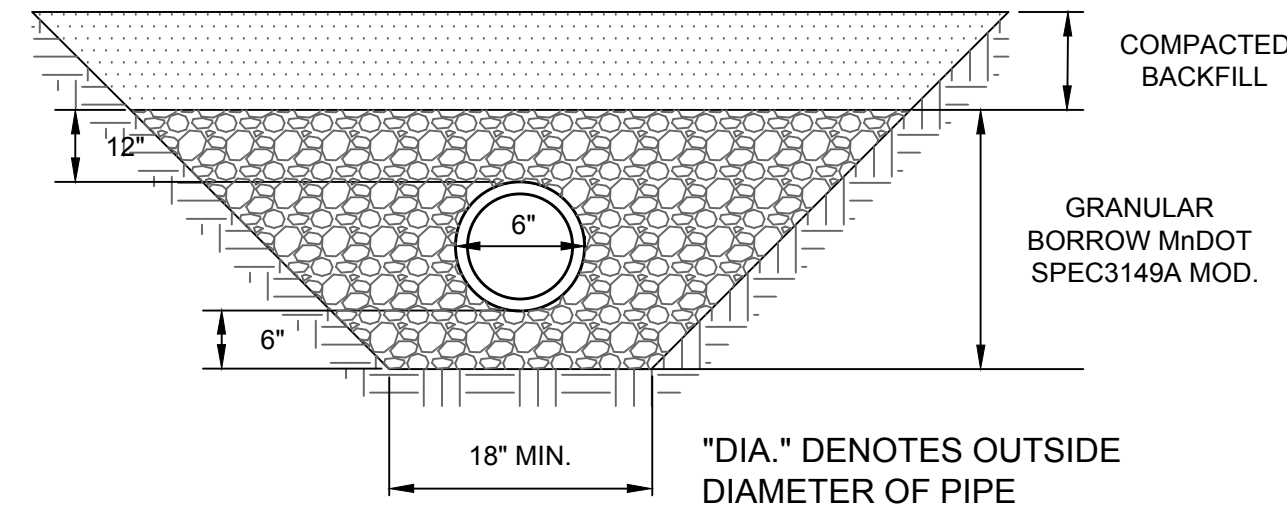


NOTES:  
1. CONCRETE SHALL BE MIN. 4000 PSI STRENGTH, WITH MAX. 6% AIR-ENTRAINMENT.  
2. VEHICULAR CONCRETE PAVEMENT SHALL HAVE REINFORCEMENT CONSISTING OF NO. 4 BARS @ 18\"/>

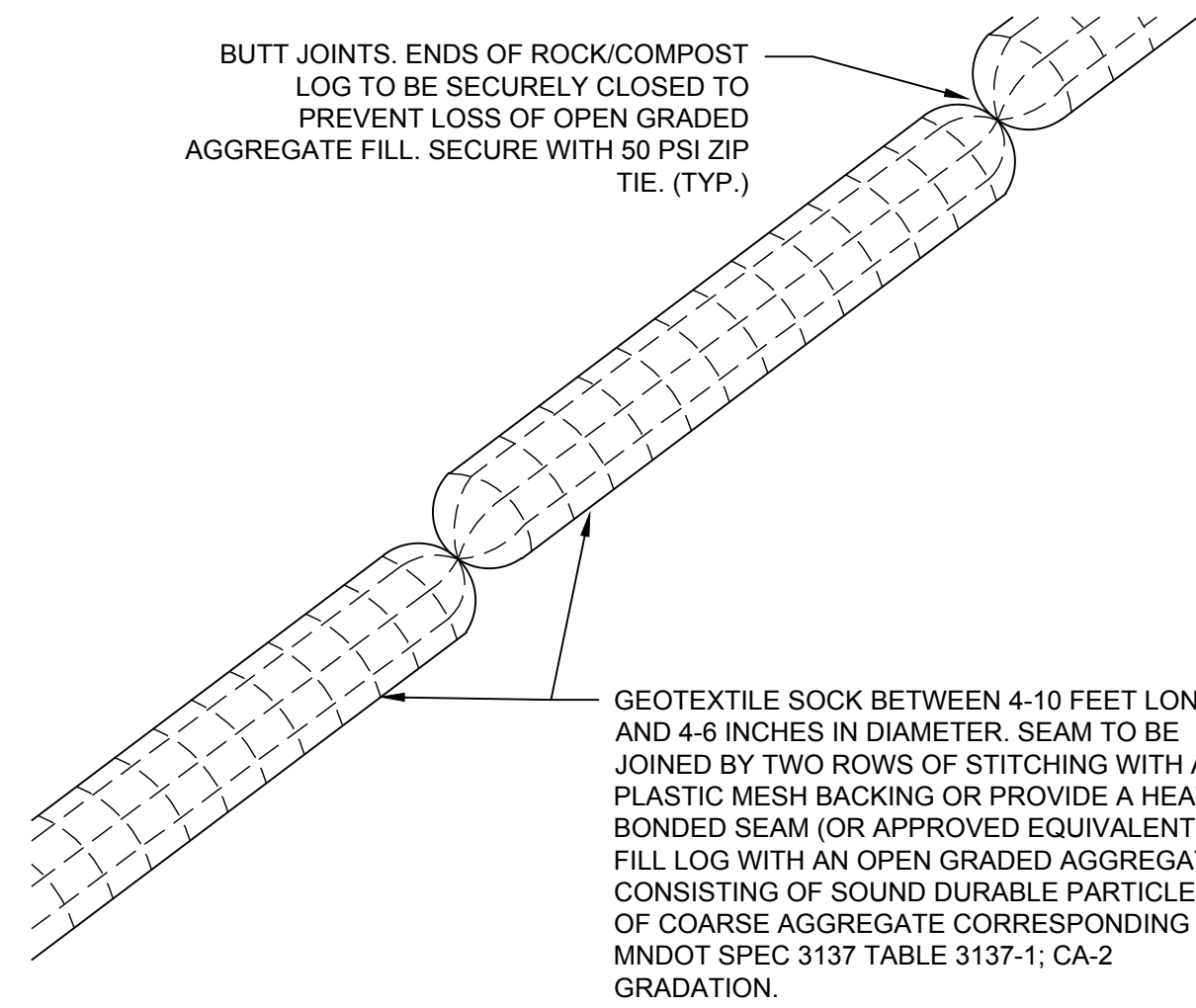
2 CONCRETE PAVEMENT DETAIL  
NTS



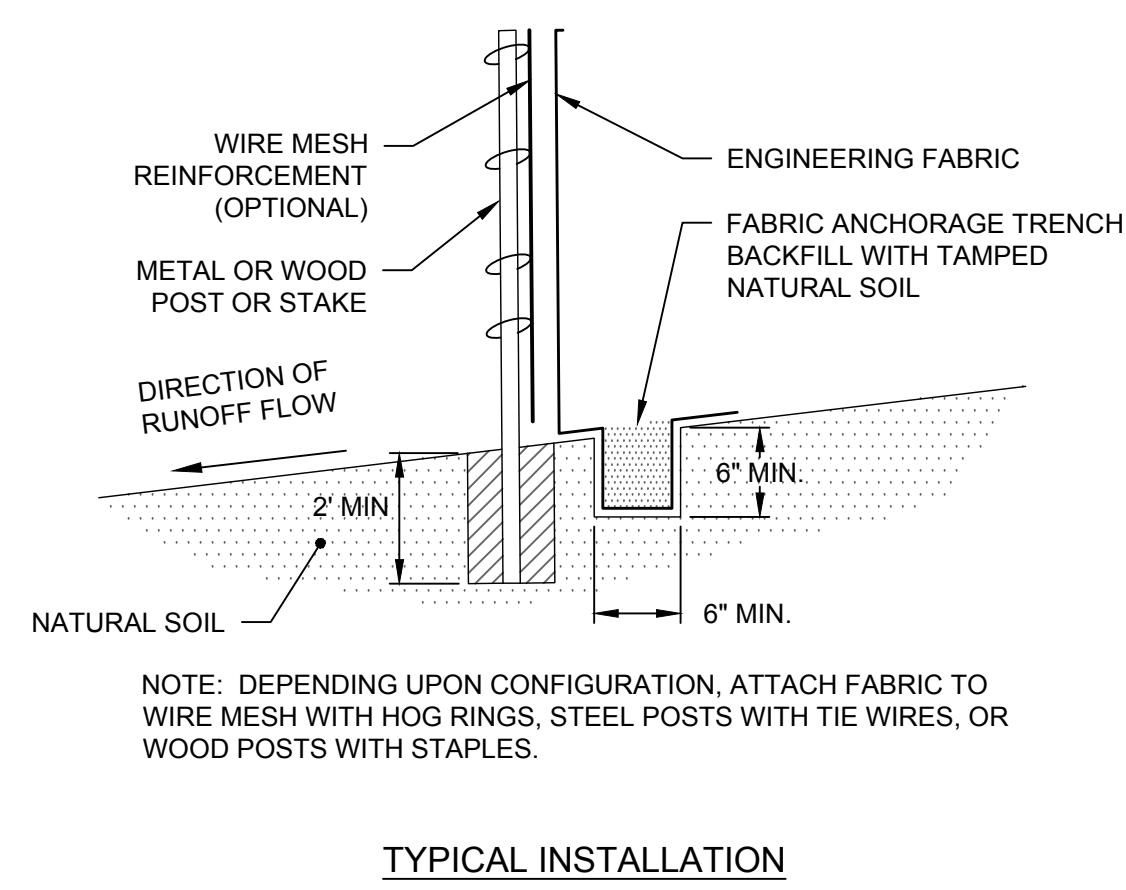
3 CONCRETE JOINT DETAIL  
NTS



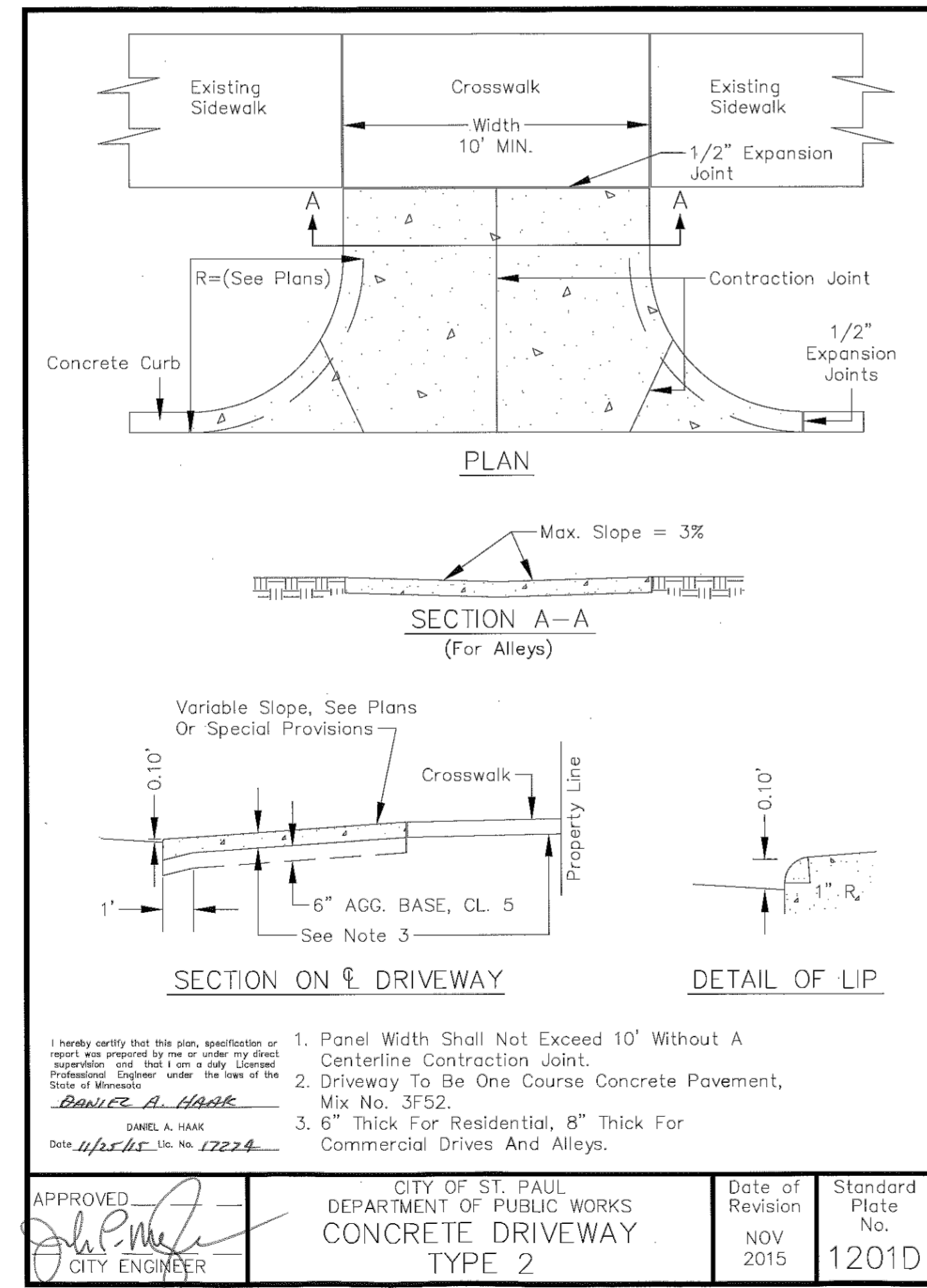
4 ROOF DRAIN EXTENSION PIPE BEDDING  
NTS



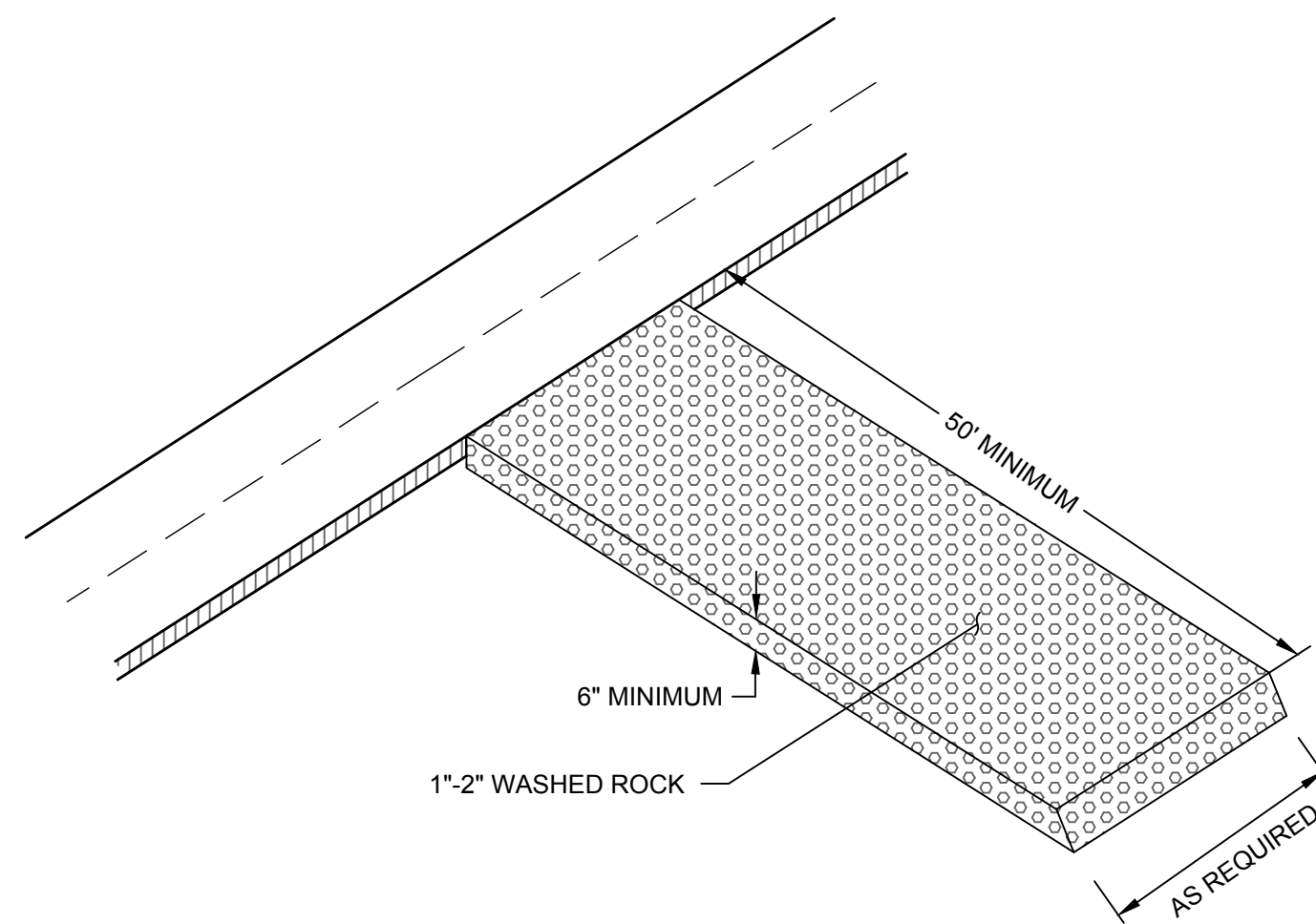
5 BIOROLL DETAIL  
NTS



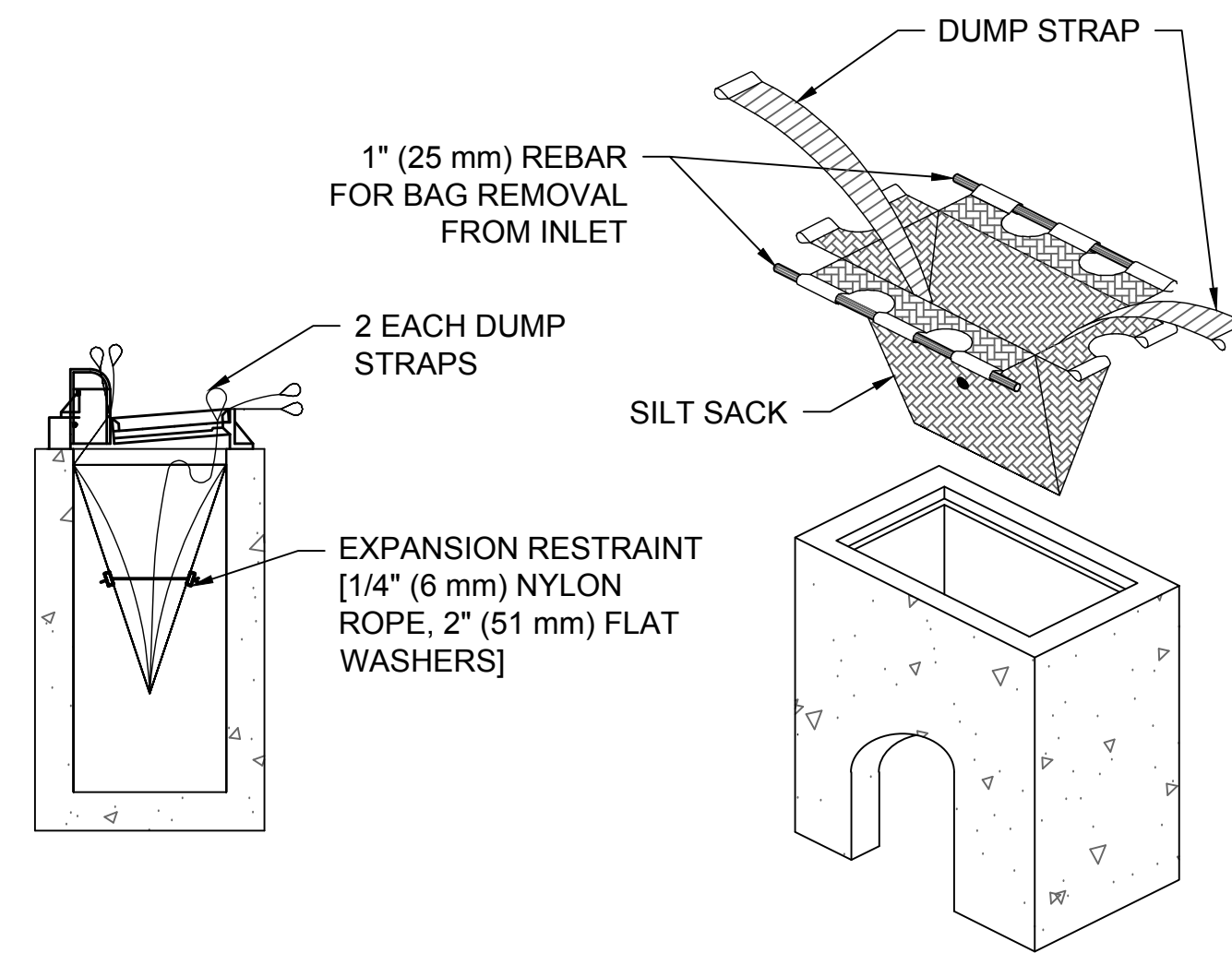
6 EROSION CONTROL FENCE  
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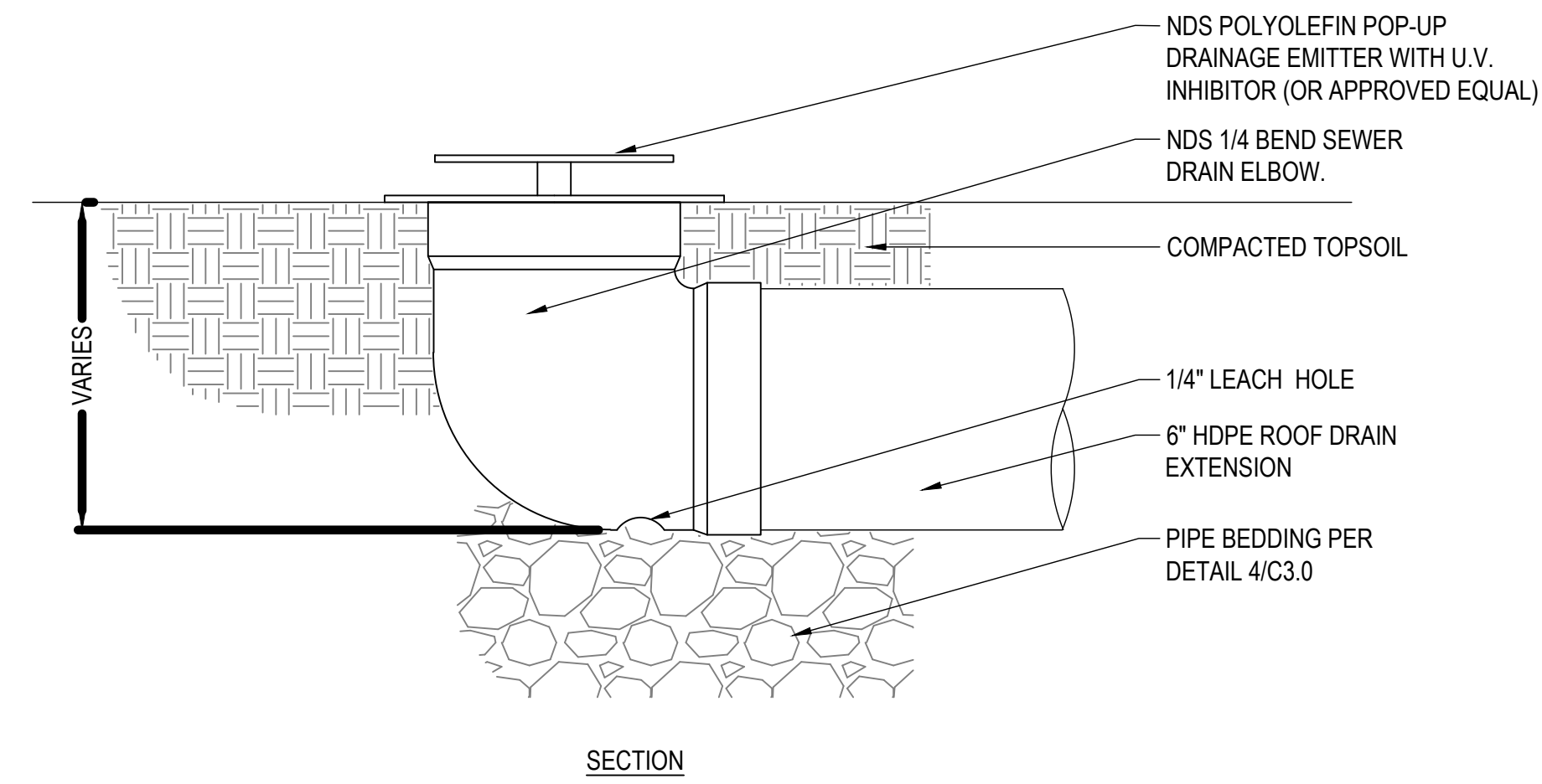
7 CITY OF ST. PAUL CONCRETE DRIVEWAY DETAIL  
NTS



8 ROCK CONSTRUCTION ENTRANCE  
NTS



9 INLET PROTECTION SEDIMENT FILTER SACK  
NTS

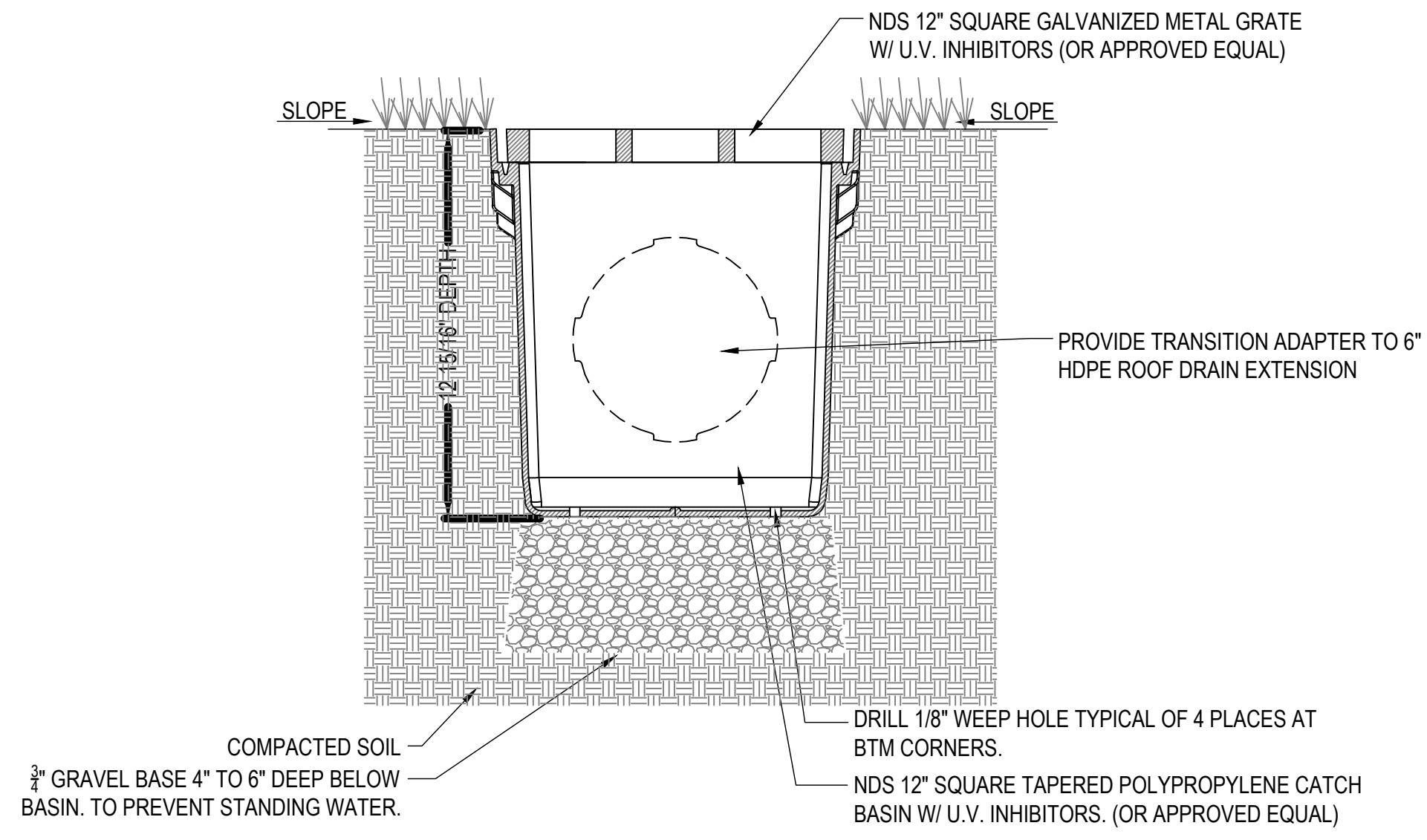


SECTION

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

1 STORM POP-UP EMITTER  
NTS

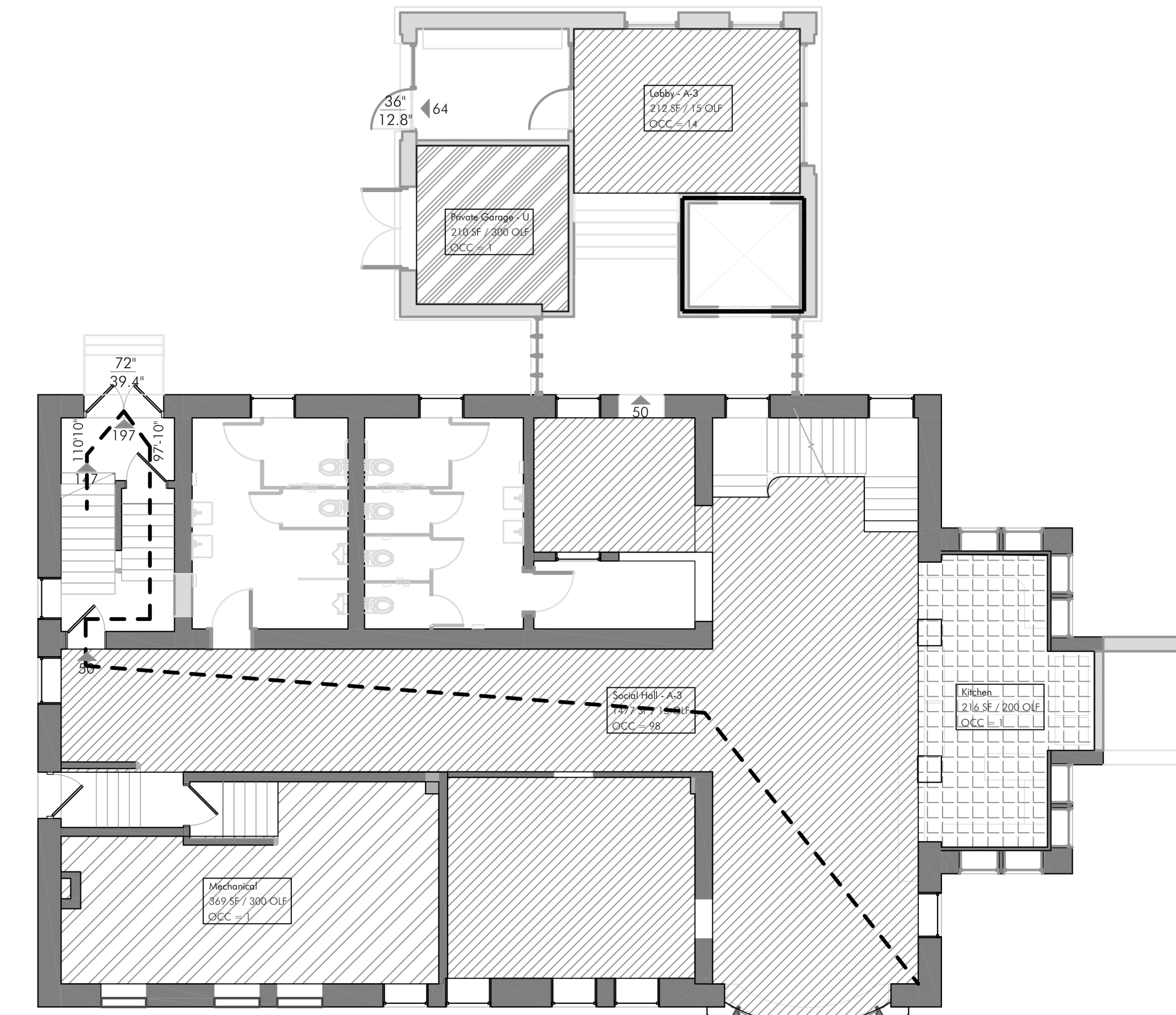


SECTION

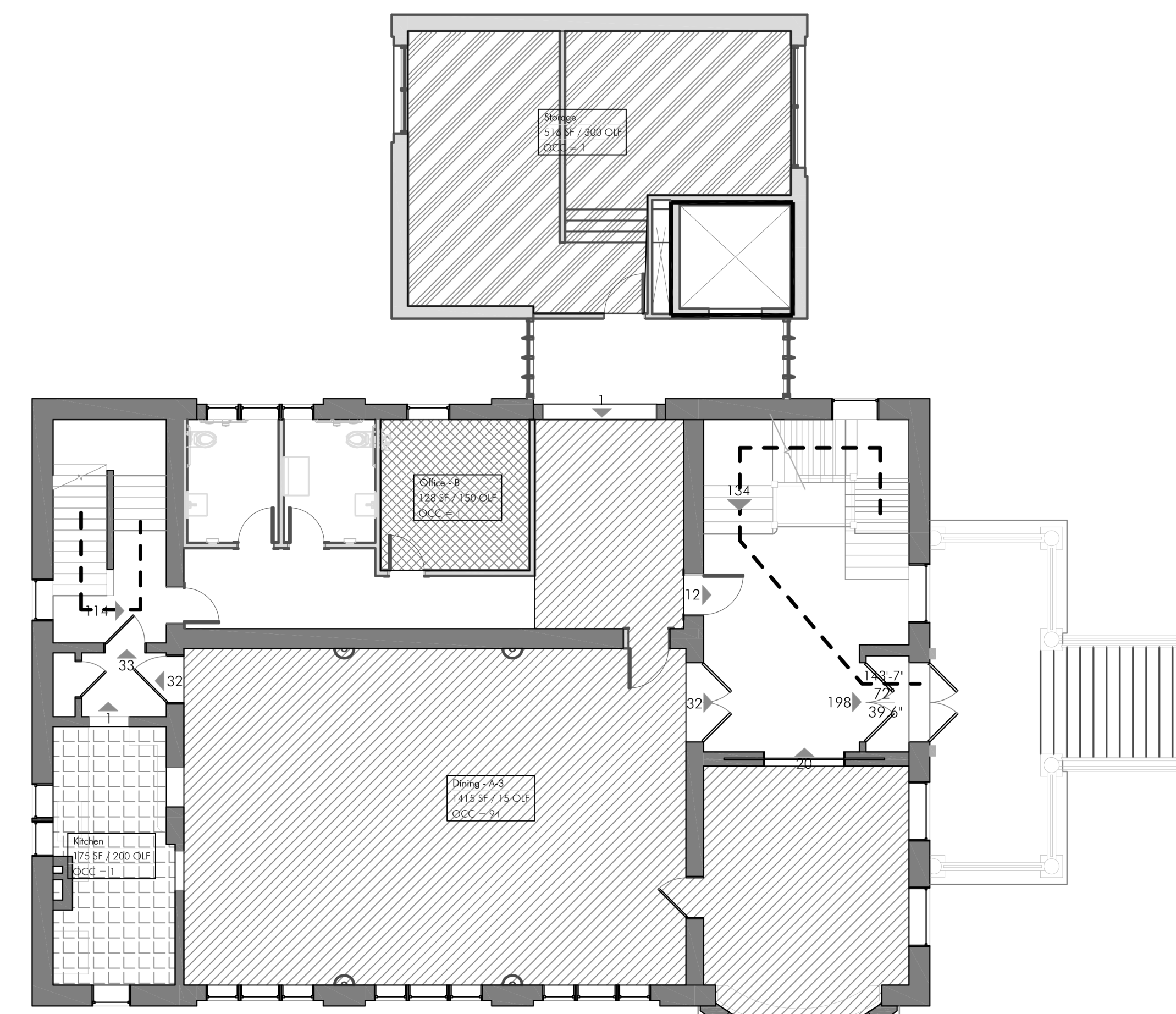
NOTES:

1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
2. RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION.
3. DO NOT USE OVER 5 RISERS WITH CATCH BASIN.
4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

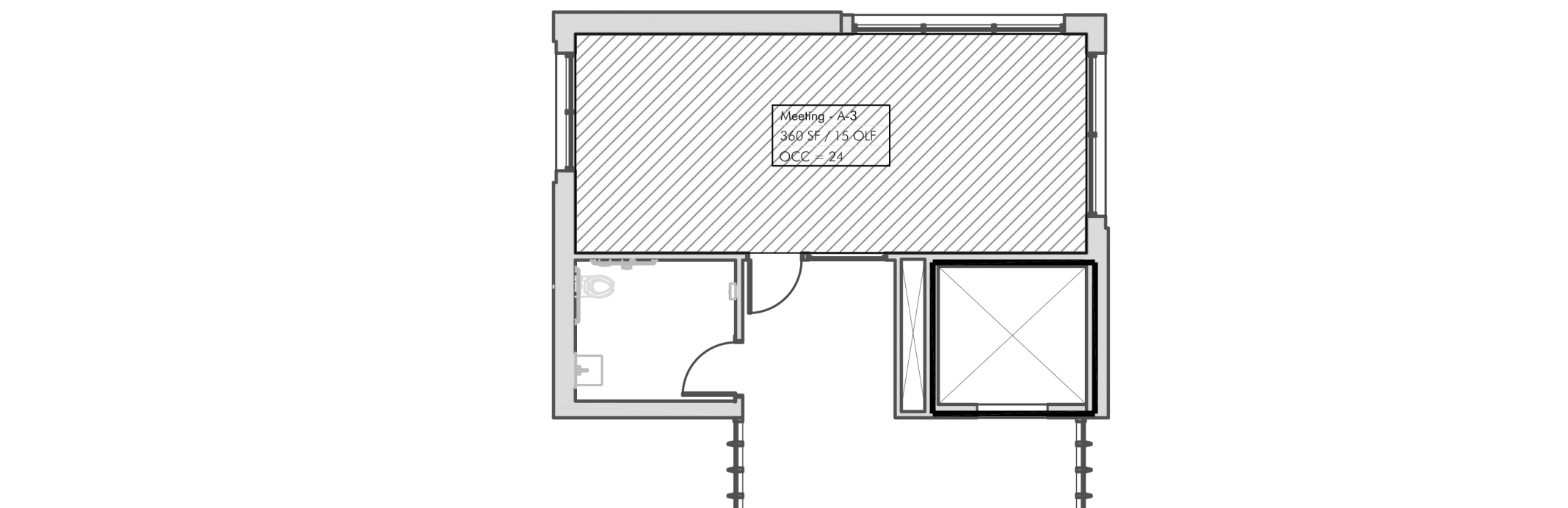
2 12"x12" ROOF DRAIN CATCH BASIN  
NTS



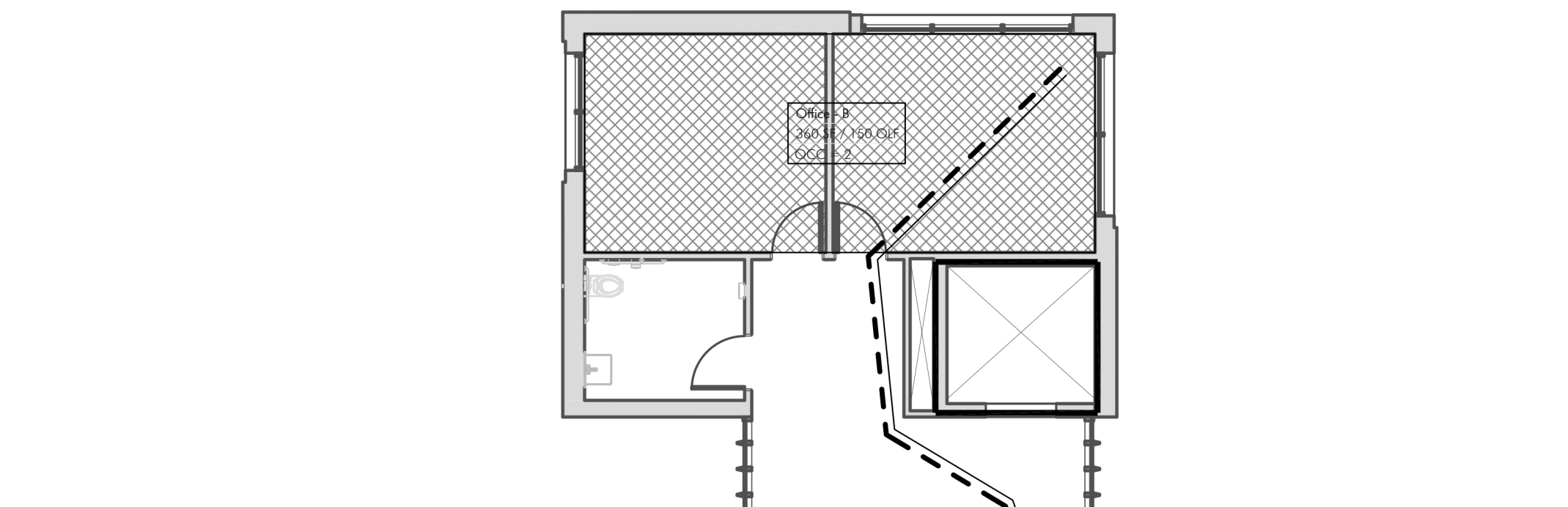
1 LOWER LEVEL LIFE SAFETY PLAN  
 A001 1/8" = 1'-0"



2 FIRST FLOOR LIFE SAFETY PLAN  
 A001 1/8" = 1'-0"



3 SECOND FLOOR LIFE SAFETY PLAN  
 A001 1/8" = 1'-0"



4 THIRD FLOOR LIFE SAFETY PLAN  
 A001 1/8" = 1'-0"

- 02-01 REMOVE AND SALVAGE LIGHT FIXTURES.
- 02-02 REMOVE PORCH RAILINGS AND STAIR HANDRAILS.
- 02-03 REMOVE AND SALVAGE STONE STEPS, REMOVE CONCRETE SUPPORT FOR STEPS, REMOVE ABANDONED STORAGE BELOW STEPS.
- 02-04 REMOVE EXISTING CLAY TILE FLOOR AND SETTING BED. CLEAN CONCRETE PORCH DECK AND REPAIR DEFECTS. INSTALL NEW CLAY TILE FLOOR, SLOPE TO PERIMETER.
- 02-05 REMOVE MESH SCREEN AND SALVAGE FRAME.
- 02-06 DISMANTLE PIERS, INCLUDING CONCRETE BASES. SALVAGE BRICK.
- 02-07 DISMANTLE STAIR WALLS. SALVAGE BRICK AND STONE CAPS. CONCRETE FOUNDATION AND BASE TO REMAIN.
- 02-08 REMOVE EXISTING BRICK/CMU/CONCRETE INFILL IN PORCH OPENINGS AND PREPARE FOR NEW WINDOW INSTALLATION. TAKE CARE NOT TO DAMAGE ORIGINAL SURROUNDING MASONRY AND CONCRETE. DO NOT DISTURB INTERIOR WALL FINISH CONSTRUCTION (GWB, WOOD FRAMING, AND INSULATION).
- 02-09 DEMOLISH WALL AND NOTIFY ARCHITECT. ARCHITECT TO INSPECT AREA BEHIND STAIRS BEFORE INFILL.
- 02-10 INSTALL TEMPORARY SHORING AT PORCH ROOF AND DEMOLISH COLUMNS. SALVAGE STONE BASES FOR REINSTALLATION.
- 02-11 REMOVE STONE AT PORCH EDGE. REMOVE AND SALVAGE STONE BENEATH FOR REINSTALLATION.
- 02-12 SALVAGE DOOR FOR REINSTALLATION.
- 02-13 REMOVE ALL EXISTING TOILET ROOM PARTITIONS AND STALL DOORS.
- 02-14 REMOVE TOILETS.
- 02-15 REMOVE WALLS AND CONCRETE AT GRADE. SEE STRUCTURAL DRAWINGS FOR EXISTING BELOW GRADE.
- 02-16 REMOVE METAL BARS FROM WINDOWS.
- 02-18 DISMANTLE WINDOW AND FRAME. SELECTIVELY REMOVE PORTION OF EXTERIOR BRICK WALL AND STONE SILL. SEE DEMOLITION DETAILS.
- 02-19 REMOVE WALL. SEE STRUCTURAL DWGS.
- 02-20 REMOVE DOOR AND FRAME.
- 02-21 REMOVE RADIATOR.
- 02-22 REMOVE KITCHEN APPLIANCES.
- 02-23 REMOVE COUNTERTOPS.
- 02-24 REMOVE LIGHTING.
- 02-25 REMOVE CEILING FIXTURE.
- 02-27 REMOVE SINK FIXTURE.
- 02-28 REMOVE URINAL.
- 02-29 REMOVE WINDOW.
- 02-30 REMOVE BATHUB.
- 02-31 REMOVE KITCHEN SINK.
- 02-32 PARTITION TO BE REMOVED.
- 02-49 FLOOR TILES TO BE REMOVED.
- 02-51 CARPET TO BE REMOVED.
- 02-52 VINYL FLOORING TO BE REMOVED.
- 02-53 LAMINATE FLOORING TO BE REMOVED.
- 02-54 REMOVE HVAC UNITS.
- 02-55 REMOVE FLUORESCENT LIGHT TRAYS.
- 02-57 REMOVE EXISTING PLYWOOD COVERINGS OVER OPENINGS AT BOILER ROOM LEVEL.
- 02-58 REMOVE WALL PLAQUE AND SALVAGE FOR REINSTALLATION AT DIFFERENT LOCATION.
- 02-59 REMOVE DOWNSPOUT.
- 02-60 REMOVE EXISTING STONE STEP.
- 02-61 REMOVE FLOOR IN RESTROOM.
- 02-62 SEAL ROOF VENT IN PLACE. PROVIDE COVERING IN ATTIC CEILING AT VENT LOCATION.
- 02-63 REMOVE ROOFING.
- 02-64 REMOVE EXISTING WINDOW AND FRAME.
- 03-02 INFILL AREA BEHIND STAIR. SEE STRUCTURAL.
- 03-03 POUR CONCRETE FOOTINGS AND PIER BASE ON CONCRETE FOUNDATION.
- 03-04 RECONSTRUCT CONCRETE SIDEWALK. SEE CIVIL.
- 03-05 NEW CONCRETE STAIRS.
- 04-01 DISMANTLE STONE BAND WITH PORCH FLOOR REMOVAL. REMOVE PAINT, REPAIR HOLES AND SPALLS. REINSTALL WITH ANCHORS TO CONCRETE FLOOR/WALL AND ENSURE DRIP EDGE IS PROPERLY PLACED AT EDGE.
- 04-02 REBUILD STAIR WALLS USING SALVAGED BRICK WHERE NECESSARY. INSTALL REPLACEMENT STONE CAPS TO MATCH ORIGINAL.
- 04-03 REPLACE STONE AT STAIRS AND TOP BAND AT PORCH. PAINT (DO NOT PAINT STEPS).
- 04-04 INSTALL FLEXIBLE JOINT.
- 04-05 FILL AND REBUILD CONCRETE SUPPORT BEFORE REINSTALLING STONE STEPS. REINSTALL STEPS.
- 04-06 CLEAN STONE AROUND DOOR AND THRESHOLD.
- 04-07 REPAIR CRACK/HOLE IN CONCRETE/MASONRY.
- 04-08 REBUILD PIER AND STONE CAP.
- 04-09 PROVIDE 7 5/8" CMU.
- 04-10 DISMANTLE STONE BAND WITH PORCH FLOOR REMOVAL. REPAIR HOLES AND SPALLS IN STONE. REINSTALL WITH WEEP HOLES AT BOTTOM COURSE. SEE 6/A253.
- 04-11 DISMANTLE AND REBUILD STONE STRINGER AND TOP COURSES OF BRICK. REMOVE PAINT FROM STONE AND PATCH SPALLS.
- 04-12 INFILL OPENINGS WITH CONCRETE MASONRY UNITS. PROVIDE WATERPROOFING.
- 04-13 PROVIDE BRICK.
- 05-01 REHABILITATE AND RESTORE LAMPS. PAINT METAL AND PROVIDE NEW GLOBES TO MATCH EXISTING. SEE 4/A253.
- 05-02 PROVIDE CHADSWORTH AND GUARD RAIL SYSTEM. SEE 3/A253.
- 05-03 INSTALL BALCONY GUARDRAIL, JULIUS BLUM CONNECTOR RAIL SYSTEM @ 42" WITH MID-HEIGHT RAIL.
- 05-04 INSTALL HANDRAIL.
- 05-05 CLEAN AND PAINT STEEL ANGLE.
- 05-06 INSTALL FLOOR FLANGE DIRECTLY TO SHEATHING. SEAL EPDM POST SLEEVE OVER FLOOR FLANGE AND SECURE TO BASE OF RAIL.
- 05-07 PROVIDE JULIUS BLUM 309 RAIL SUPPORT AND 6901 HANDRAIL @ 35" FROM STAIR NOSING.
- 05-08 INSTALL HANDRAIL AND GUARDRAIL.
- 05-09 PROVIDE 1" ROUND METAL BALLUSTER.
- 05-10 PROVIDE 1 1/2" HOLLOW SQUARE METAL HANDRAIL.
- 06-01 CHADSWORTH WILLIAMSBURG 18 BALUSTER.
- 06-02 INSTALL CHADSWORTH FULL ROUND 14" TUSCAN COLUMN AND REINSTALL SALVAGED BASES.
- 06-03 REPAIR WOOD DOOR TRIM. PAINT. SEE DOOR SCHEDULE FOR DOOR REPAIRS.
- 06-04 INSTALL BALCONY RAILING POST.
- 06-05 INSTALL BALCONY BALUSTRADE.
- 06-06 REPAIR WOOD ENTABLATURE, INCLUDING CORNICE, INSIDE OF FRIEZE, AND ARCHITRAVE, WITH CONSOLIDANT. PAINT.

- 06-07 REPAIR AND PAINT SALVAGED WOOD FRAME AND INSTALL NEW PAINTED PLYWOOD PANEL IN PLACE OF MESH. REINSTALL.
- 06-08 REPAIR LOWER PORTION OF CORNICE. REPAINT.
- 06-09 PROVIDE STAINLESS STEEL ANCHOR, BRACKET, AND GUARD. CONNECT ANCHOR TO 2X SUPPORT PAINT.
- 06-10 PROVIDE CHADSWORTH TOP RAIL T300. PROVIDE 2X SUPPORT ACROSS BOTTOM OF RAIL.
- 06-11 PROVIDE CHADSWORTH BOTTOM RAIL B301. PROVIDE 2X SUPPORT ACROSS BOTTOM OF RAIL.
- 06-12 PROVIDE CHADSWORTH TOP RAIL T200. PROVIDE 2X SUPPORT ACROSS BOTTOM OF RAIL.
- 06-13 PROVIDE CHADSWORTH WILLIAMSBURG 18 BALUSTER.
- 06-14 PROVIDE CHADSWORTH BOTTOM RAIL B201. PROVIDE 2X SUPPORT ACROSS BOTTOM OF RAIL.
- 06-15 PROVIDE PLINTH BASE TO SECURE TO ROOF. INSTALL FLASHING.
- 06-16 INSTALL WOOD ENTRY BENCH WITH SUPPORTS.
- 06-17 PROVIDE CHADSWORTH AND GUARD RAIL STAIR SYSTEM. SEE 3/A253.
- 07-01 REPAIR DOWNSPOUTS.
- 07-02 PROVIDE SEALANT.
- 07-03 PROVIDE NEW EPDM ROOF.
- 07-04 EXTEND HYDROTECH DRAIN BOARD /FLASHING AND INSTALL WEEPS IN MORTAR BED.
- 07-05 INSTALL HYDROTECH HYDRODRAIN R90 AND HYDROTECH FLASHINGS ON CONCRETE DECK AND EXTEND VERTICALLY TO LOWER STONE COPING.
- 07-06 INSTALL AIR BARRIER AT EXTERIOR EXISTING WALL CONSTRUCTION IN WINDOW OPENINGS.
- 07-07 INSTALL AIR & MOISTURE BARRIER ON EXTERIOR FACE OF NEW CMU INFILL.
- 07-08 PROVIDE AIR & MOISTURE BARRIER.
- 08-01 APPLY VINYL PRIVACY FILM TO EXISTING GLAZING.
- 08-02 STRIP DOORS, INCLUDING WOOD TRIM. REPLACE HARDWARE. PATCH BOTTOM OF DOORS WHERE HARDWARE WAS REMOVED. REPAINT. SEE DOOR SCHEDULE.
- 08-03 INSTALL PERMANENT DOOR STOP. SEE DOOR SCHEDULE.
- 08-05 INSTALL ALUMINUM SIMULATED DOUBLE HUNG WINDOW. INSTALL LAMINATED GLASS. PAINT BACK OF GLAZING BLACK PRIOR TO INSTALLATION. BASIS OF DESIGN: SCV 564 FRED SIMULATED HUNG. SEE WINDOW SCHEDULE.
- 08-06 PROVIDE LOWER VENT TO FIT WITHIN EXISTING WINDOW OPENING.
- 09-01 INSTALL NEW CLAY TILE FLOOR AT OP HYDROTECH SYSTEM. SLOPE TO PERIMETER.
- 09-02 RESTORE PLASTER WALL. MATCH EXISTING TEXTURE AND FINISH. PAINT.
- 09-03 SCRAPE AND REPAINT WOOD TRIM AND CORNICE OF BOV WINDOW EXTERIOR.
- 09-04 REMOVE LOOSE PAINT AND REPAINT EXISTING FLASHING.
- 09-05 PAINT METAL CORNICE AND PARAPET CAP.
- 09-06 PROVIDE CERAMIC TILE.
- 09-07 PROVIDE 1/2" CERAMIC BACKERBOARD.
- 09-08 PROVIDE CERAMIC TILE BASE COVE.
- 09-09 PROVIDE 3 5/8" METAL STUD FRAMING @ 16" O.C.
- 09-10 PROVIDE BATT INSULATION.
- 09-11 PROVIDE 5/8" METAL STUD RUNNER.
- 09-12 PROVIDE CEILING AS SCHEDULED.
- 09-13 PROVIDE 5/8" GYP.
- 09-14 PROVIDE 7/8" HAT CHANNEL FRAMING @ 24" O.C. MAX.
- 09-15 SCRAPE LOOSE PAINT. REPAINT.
- 09-16 SCRAPE LOOSE PAINT. REPAIR WOOD AT DAMAGE FROM BRICK POST REMOVAL. REPAINT.
- 09-17 CLEAN BEADBOARD CEILING WITH MILD DETERGENT. RESEAL.
- 09-18 PROVIDE 6" METAL STUD RUNNER.
- 09-19 PROVIDE 6" METAL STUD FRAMING.
- 09-20 PROVIDE THERMABARRIER BARRIER 45 MINERAL WOOL INSULATION.
- 09-21 PROVIDE SUSPENSION WIRE WITH T-BAR SUPPORT.
- 09-22 PROVIDE ACOUSTIC CEILING TILE. SEE FINISH SCHEDULE.
- 09-23 PROVIDE COMPASSO TRIM.
- 10-01 PROVIDE MIRROR. SEE PLUMBING ACCESSORY SCHEDULE.
- 10-03 PROVIDE 42" GRAB BAR. SEE PLUMBING ACCESSORY SCHEDULE.
- 10-04 PROVIDE 36" GRAB BAR. SEE PLUMBING ACCESSORY SCHEDULE.
- 10-05 PROVIDE 18" VERTICAL GRAB BAR. SEE PLUMBING ACCESSORY SCHEDULE.
- 10-06 PROVIDE PAPER TOWEL DISPENSER. SEE PLUMBING ACCESSORY SCHEDULE.
- 10-07 PROVIDE RECESSED TOILET PAPER DISPENSER. SEE PLUMBING ACCESSORY SCHEDULE.
- 10-08 PROVIDE SANITARY NAPKIN RECEPTACLE. SEE PLUMBING ACCESSORY SCHEDULE.
- 10-09 PROVIDE DIAPER CHANGING STATION. SEE PLUMBING ACCESSORY SCHEDULE.
- 10-11 PROVIDE TOILET PAPER DISPENSER. SEE PLUMBING ACCESSORY SCHEDULE.
- 10-12 PROVIDE TOILET PARTITION WALL. BASIS OF DESIGN: POWDER COATED - FLOOR MOUNTED STANDARD METAL TOILET PARTITIONS BY HADRIAN.
- 22-01 PROVIDE WALL MOUNTED TOILET. SEE PLUMB. DWGS.
- 22-02 PROVIDE WALL MOUNT FAUCET SINK. SEE PLUMB. FIXTURE SCHEDULE AND PLUMB. DWGS.
- 22-03 PROVIDE DECK MOUNT FAUCET. SEE PLUMB. FIXTURE SCHEDULE AND PLUMB. DWGS.
- 22-04 PROVIDE WALL MOUNTED URINAL. SEE PLUMB. FIXTURE SCHEDULE AND PLUMB. DWGS.
- 23-01 REGRADE DISTURBED AREA AROUND BOTTOM OF STAIRS AND PIERS. REPLACE SOD.
- 24-01 INSTALL REHABILITATED PENDANT LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE.

- APPLICABLE CODES:**
- 2020 Minnesota State Building Code
  - 2020 Minnesota Conservation Code for Existing Buildings
  - 2020 Minnesota Accessibility Code
  - 2020 Minnesota Energy Code
  - 2020 Minnesota Fire Code
  - 2020 National Electrical Code
  - 2020 Minnesota Mechanical Code
  - 2015 Minnesota Plumbing Code
  - NFPA 13 Installation of Fire Sprinklers
  - City of Saint Paul Zoning Code
  - Heritage Preservation Commission Regulations of the City of Saint Paul

- OCCUPANCY CLASSIFICATION:**  
 (A-3) Community Halls  
 (U) Private Garage
- TYPE OF CONSTRUCTION**  
 Existing: Type II-B; Not Sprinkled  
 Proposed: Type II-A; Fully Sprinkled  
 MN Conservation Code for Existing Buildings, Alteration Level - 2

- GENERAL HEIGHT and AREA:**  
 Allowable Height (Table 504.3, 504.4): Type II-A = 85', 4 stories  
 230'/65' = 4  
 Allowable Area (Table 506.2) Type II-A = 46,500 SF

- BUILDING INFORMATION:**  
 4 Stories: Basement, First, Second, and Partial Third Floor  
 Existing Entrances: Mid level exits on north and west. Porch exit on the north.  
 Proposed Entrance: Mid level exit on new addition.  
 Basement: Existing - 3042 GSF, Addition - 734  
 First Floor: Existing - 2814 GSF, Addition - 734  
 Second Floor: Existing - 2802 GSF, Addition - 734  
 Third Floor: Existing - 870 GSF, Addition - 734  
 Total Building: Existing - 9528 GSF, Addition - 2936 = 12464

- FIRE RATING REQUIREMENTS:**  
 Primary Structural Frame - 0 hours if fully sprinkled (MBC Table 601)  
 Nonbearing Walls, Exterior > 30' - 0 hours (MBC Table 602)  
 Nonbearing Walls and Partitions, Interior - 0 hours (MBC Table 601)  
 Floors - 0 hours if fully sprinkled (MBC Table 601)  
 Roof - 0 hours if fully sprinkled (MBC Table 601)  
 Corridor - 0 hours if fully sprinkled (MBC Table 1020.1)  
 Elevator Shafts - 2 hour (MBC 713.4)  
 Elevator Lobby - Not required (MBC 3006.2)  
 Stair Shaft Enclosure - Not required (Project will meet MCC 802.2.1 Exception 3.2)  
 Mechanical Room - Not required if fully sprinkled (MBC Table 509)  
 A Occupancy and U Occupancy Separation: No Separation (MBC Table 508.4)

- PLUMBING FIXTURES:**  
 Required Bathroom Fixtures for A-3 Community Hall:  
 Male Water Closet: 1 per 125  
 Female Water Closet: 1 per 65  
 Lavatories: 1 per 200  
 Drinking Fountain: 1 per 500  
 Service Sink: 1

- 459 Occupants = 229 male and 230 female
- Water Closets:**  
 229/125 = 2  
 230/65 = 4  
 6 Required - 8 Provided (2 Male, 4 Female, 4 Unisex)

- Lavatories:**  
 229/200 = 2  
 230/200 = 2  
 4 Required - 6 Provided (2 Male, 2 Female, 2 Unisex)
- Drinking Fountain:**  
 229/500 = 1  
 1 Required - 1 Provided - Reconfigure Existing
- Service Sink:**  
 1 Required - 2 Provided - 1 Existing, 1 New

- EGRESS REQUIREMENTS:**  
 Accessible means of egress: Not required (MBC 1009.1 Exception 3)  
 Common path of egress travel:  
 Stories LL through 2 - 75 feet (MBC Table 1006.2.1)  
 Third Floor - 75 feet (Only B Occupancy and MBC Table 1006.2.1)  
 Exit access travel distance: Not to exceed 250 feet (MBC Table 1006.2.1)  
 Exit access arrangement: Existing  
 Number of Exits: Two from each floor (MBC Table 1006.3.2)  
 Third story only has one exit (MBC 1006.3.3.2, and 1006.2.1 and Table 1006.2.1)  
 All stairs are existing and in good condition. Upgrading is not required (MCC 805.9.1)

**OCCUPANCY GROUPS/LOADING SUMMARY**

U Private Garage	200/sf	1
A-3 Community Hall Unconcentrated	15/sf	222
A-3 Community Hall Concentrated	5/sf	195
A-3 Meeting Room	15/sf	33
B Offices	150/sf	4
Kitchen	200/sf	2
Mechanical	300/sf	1
Storage	200/sf	1
<b>Total</b>		<b>459</b>

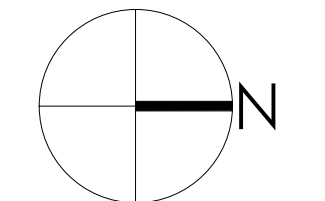
**LEGEND**

[Pattern]	A-3 COMMUNITY HALLS UNCONCENTRATED
[Pattern]	A-3 COMMUNITY HALLS CONCENTRATED
[Pattern]	B OFFICES
[Pattern]	STORAGE
[Pattern]	MECHANICAL
[Pattern]	KITCHEN

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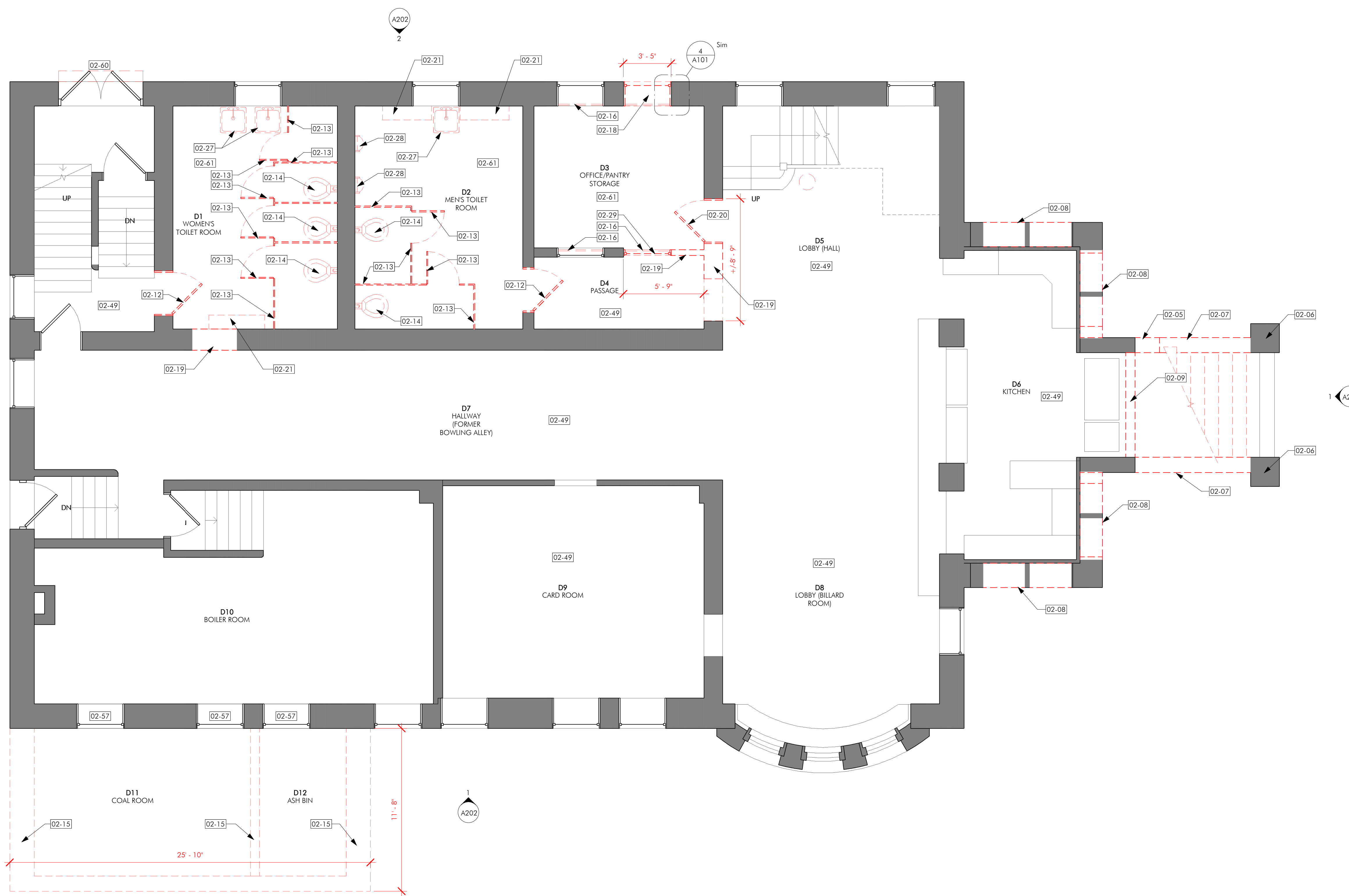
CHARLES THOMPSON MEMORIAL HALL  
 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY: [Signature]  
 DATE: 04/30/2021

KEYNOTES & LIFE SAFETY PLAN

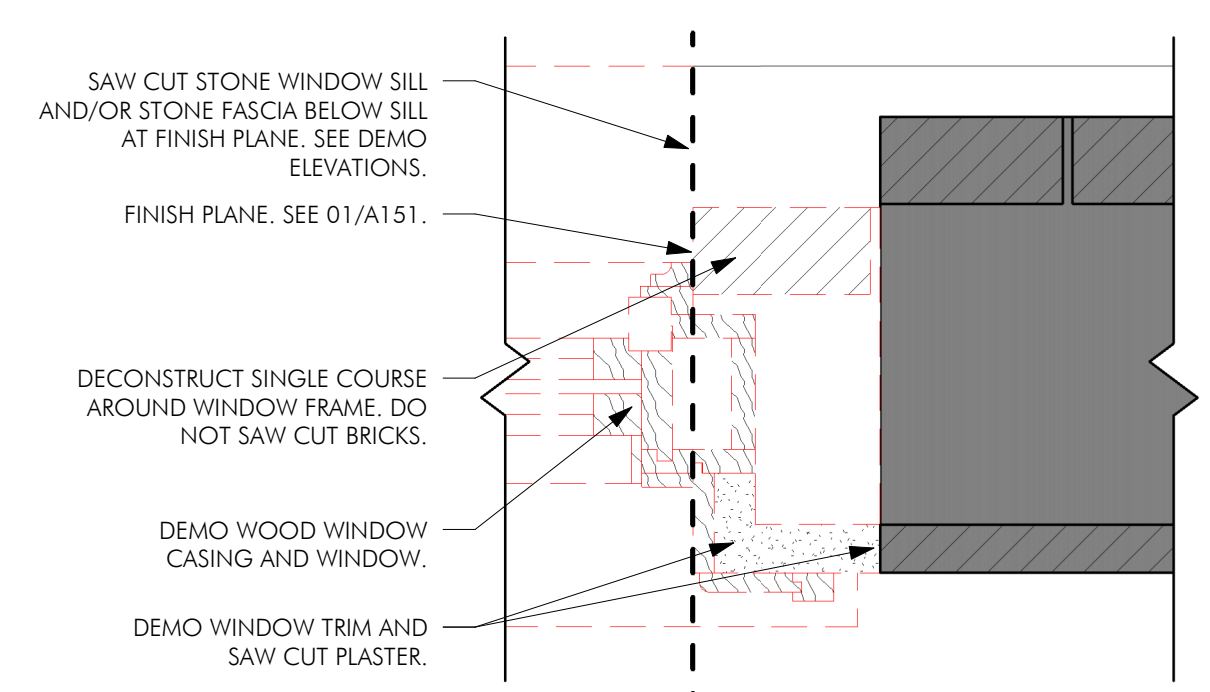
A001



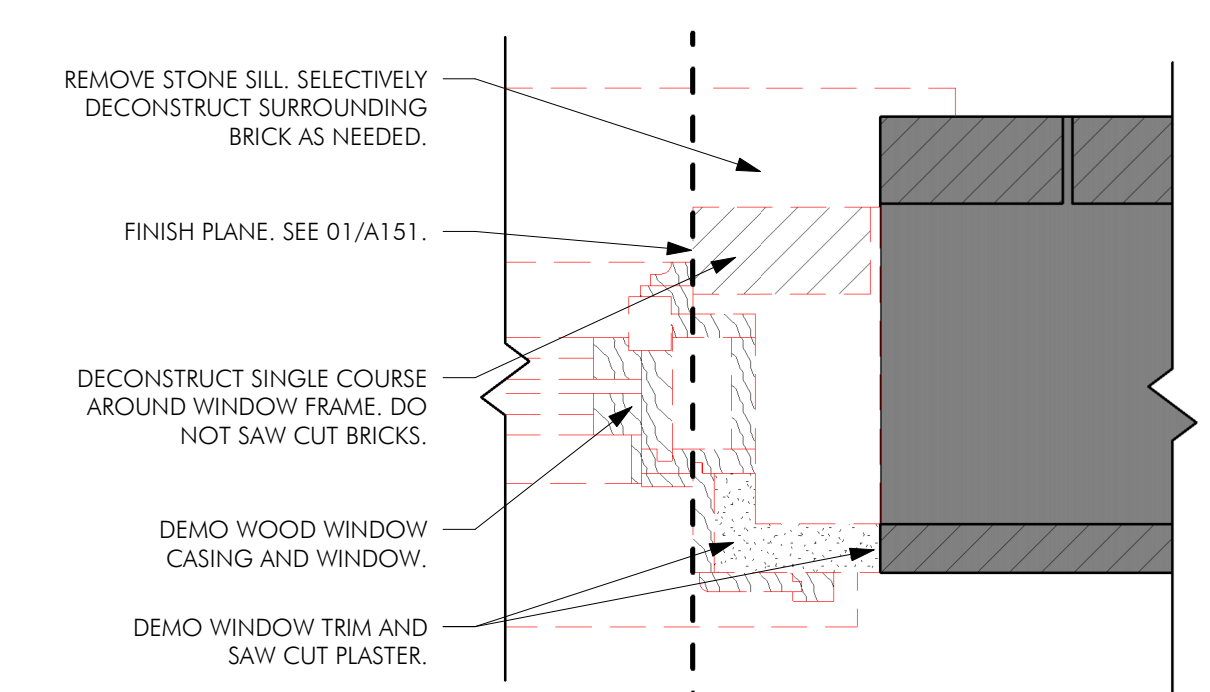
1. PLEASE REFER TO SHEET G000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.



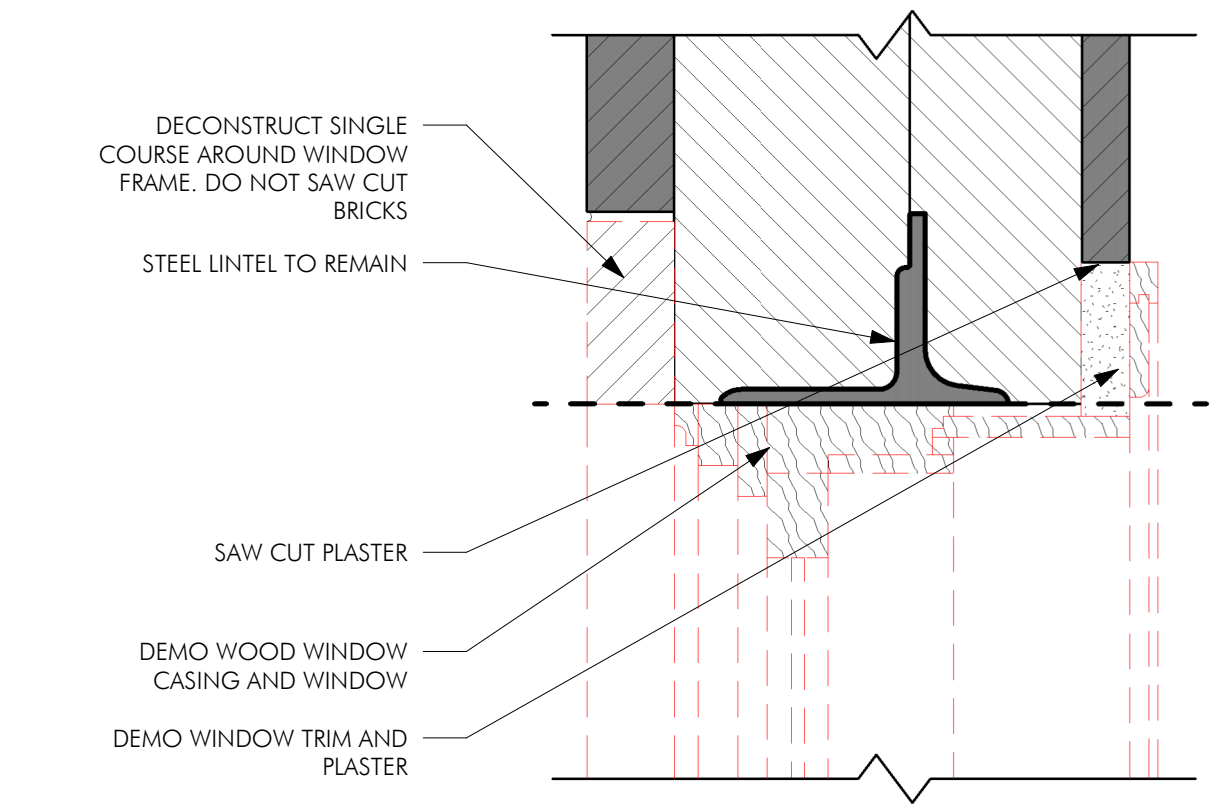
1 LOWER LEVEL DEMOLITION PLAN  
 A101 1/4" = 1'-0"



DEMOLITION AT WATERTABLE WINDOW  
 OPENING  
 4  
 A101 1 1/2" = 1'-0"



DEMOLITION AT BRICK WINDOW  
 OPENINGS, TYP  
 5  
 A101 1 1/2" = 1'-0"



DEMOLITION AT EXISTING WINDOW TOP  
 JAMB, TYPICAL  
 6  
 A101 1 1/2" = 1'-0"

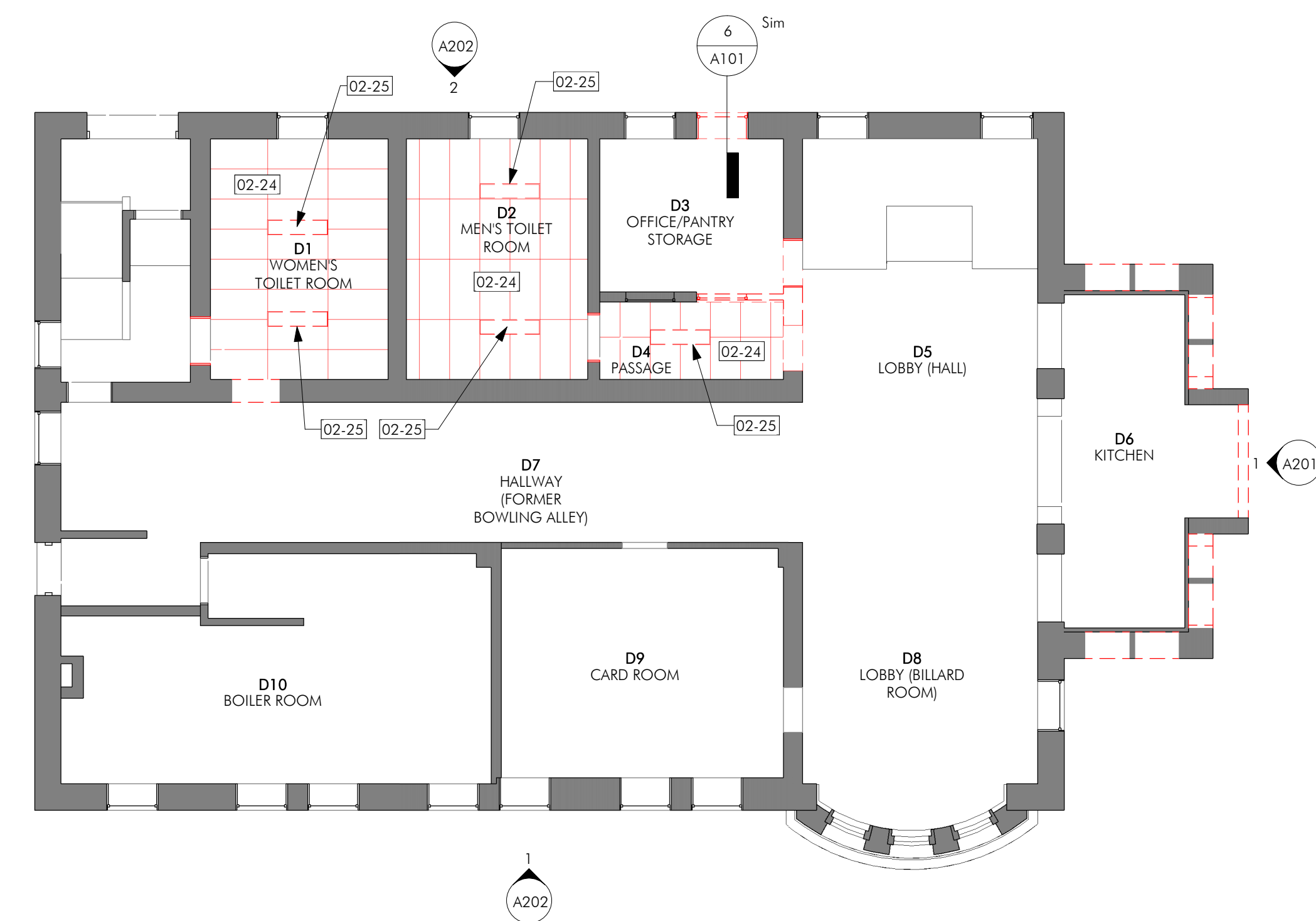
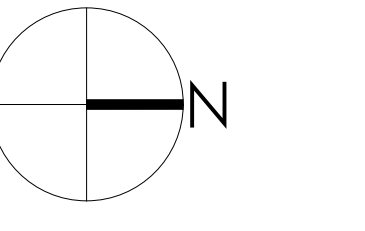
KEYNOTES

02-05	REMOVE MESH SCREEN AND SALVAGE FRAME.
02-06	DISMANTLE FRGS, INCLUDING CONCRETE BASES, SALVAGE BRICK.
02-07	DISMANTLE STAIR WALLS. SALVAGE BRICK AND STONE CAPS. CONCRETE FOUNDATION AND BASE TO REMAIN.
02-08	REMOVE EXISTING BRICK/CMU/CONCRETE INFILL IN PORCH OPENINGS AND PREPARE FOR NEW WINDOW INSTALLATION. TAKE CARE NOT TO DAMAGE ORIGINAL SURROUNDING MASONRY AND CONCRETE. DO NOT DISTURB INTERIOR WALL FINISH/CONSTRUCTION (GWB, WOOD FRAMING, AND INSULATION).
02-09	DEMOLISH WALL AND NOTIFY ARCHITECT. ARCHITECT TO INSPECT AREA BENEATH STAIRS BEFORE INFILL.
02-10	INSTALL TEMPORARY SHORING AT PORCH ROOF AND DEMOLISH COLUMNS. SALVAGE STONE BASES FOR REINSTALLATION.
02-12	SALVAGE DOOR FOR REINSTALLATION.
02-13	REMOVE ALL EXISTING TOILET ROOM PARTITIONS AND STALL DOORS.
02-14	REMOVE TOILETS.
02-15	REMOVE WALLS AND CONCRETE AT GRADE. SEE STRUCTURAL DRAWINGS FOR EXTENT BELOW GRADE.
02-16	REMOVE METAL BARS FROM WINDOWS.
02-18	DISMANTLE WINDOW AND FRAME. SELECTIVELY REMOVE PORTION OF EXTERIOR BRICK WALL AND STONE SILL. SEE DEMOLITION DETAILS.
02-19	REMOVE WALL. SEE STRUCTURAL DWGS.
02-20	REMOVE DOOR AND FRAME.
02-21	REMOVE RADIATOR.
02-25	REMOVE LIGHT FIXTURE.
02-27	REMOVE SINK FIXTURE.
02-28	REMOVE URINAL.
02-29	REMOVE WINDOW.
02-49	FLOOR TILES TO BE REMOVED.
02-57	REMOVE EXISTING PLYWOOD COVERINGS OVER OPENINGS AT BOILER ROOM LEVEL.
02-60	REMOVE EXISTING STONE STEP.
02-61	REMOVE FLOOR IN RESTROOM.

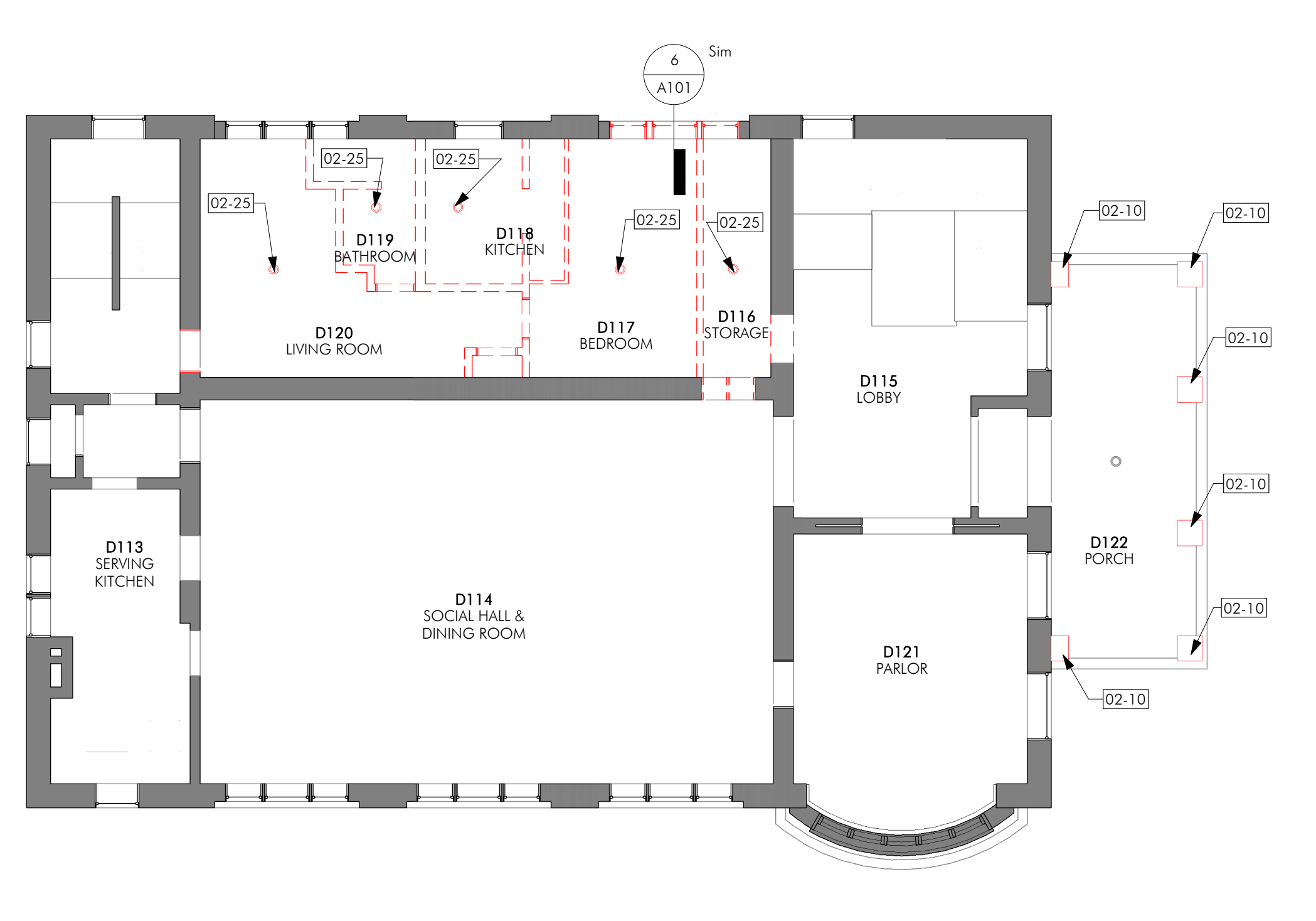
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2 LOWER LEVEL DEMOLITION RCP  
 A101 1/8" = 1'-0"

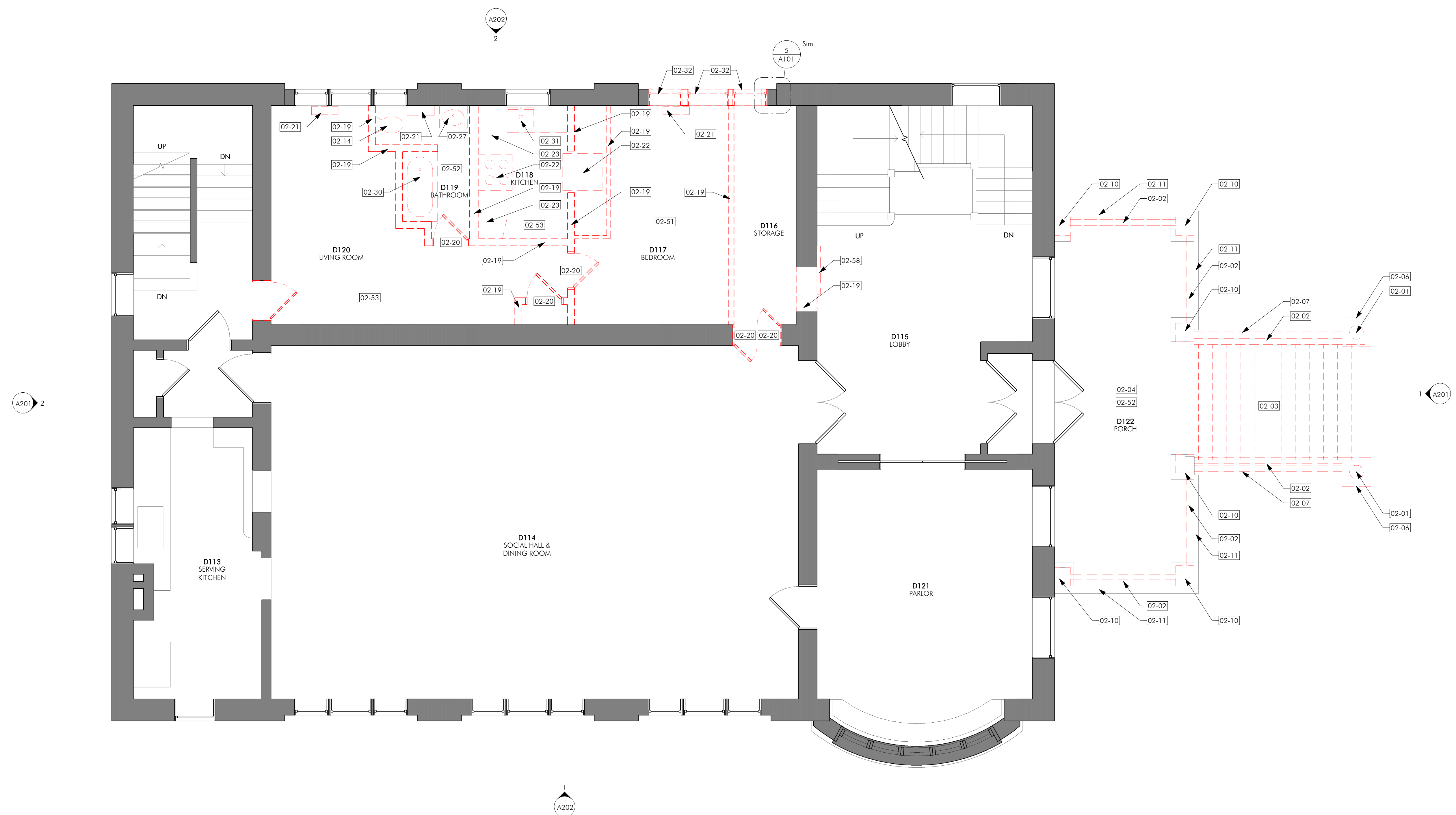


3 FIRST FLOOR DEMOLITION RCP  
 A101 1/8" = 1'-0"

LEGEND

	REMOVE/DISMANTLE
	DEMOLISH MASONRY, SALVAGE AS NOTED

- PLEASE REFER TO SHEET G000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.



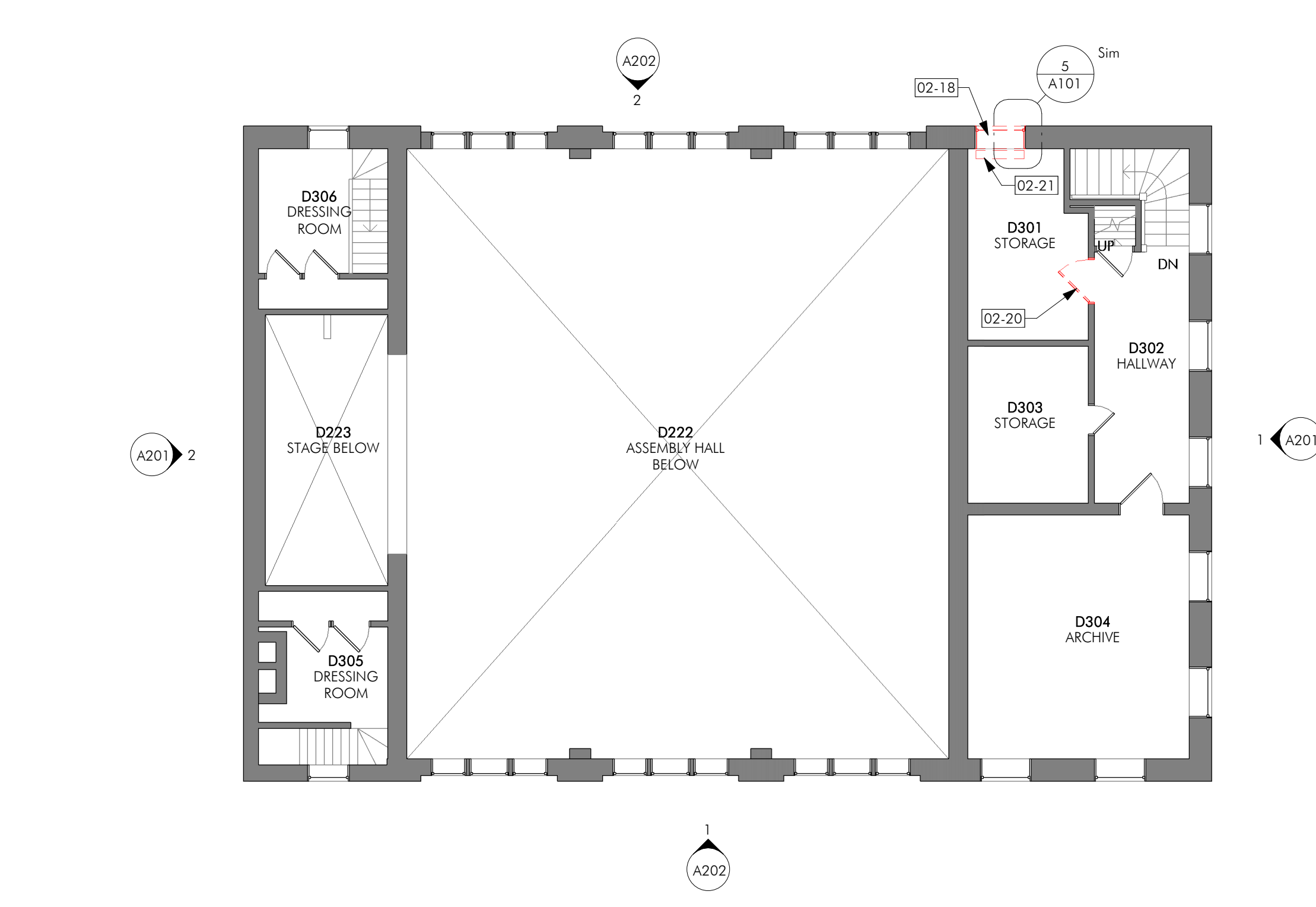
KEYNOTES

02-01	REMOVE AND SALVAGE LIGHT POSTS.
02-02	REMOVE PORCH RAILINGS AND STAR HANDRAILS.
02-03	REMOVE AND SALVAGE STONE STEPS. REMOVE CONCRETE SUPPORT FOR STEPS. REMOVE ABANDONED STORAGE BELOW STEPS.
02-04	REMOVE EXISTING GLAY TILE FLOOR AND SETTING BED. CLEAN CONCRETE PORCH DECK AND REPAIR DEFECTS. INSTALL NEW CLAY TILE FLOOR. SLOPE TO PERIMETER.
02-06	DISMANTLE FIERS, INCLUDING CONCRETE BASES. SALVAGE BRICK.
02-07	DISMANTLE STAR WALLS. SALVAGE BRICK AND STONE CAPS. CONCRETE FOUNDATION AND BASE TO REMAIN.
02-10	INSTALL TEMPORARY SHORING AT PORCH ROOF AND DEMOLISH COLUMNS. SALVAGE STONE BASES FOR REINSTALLATION.
02-11	REMOVE STONE AT PORCH EDGE. REMOVE AND SALVAGE STONE BENEATH FOR REINSTALLATION.
02-14	REMOVE TOILETS.
02-18	DISMANTLE WINDOW AND FRAME. SELECTIVELY REMOVE PORTION OF EXTERIOR BRICK WALL AND STONE SILL. SEE DEMOLITION DETAILS.
02-19	REMOVE WALL. SEE STRUCTURAL DWGS.
02-20	REMOVE DOOR AND FRAME.
02-21	REMOVE RADIATOR.
02-22	REMOVE KITCHEN APPLIANCES.
02-23	REMOVE COUNTERTOPS.
02-27	REMOVE SINK FIXTURE.
02-30	REMOVE BATHUB.
02-31	REMOVE KITCHEN SINK.
02-32	PARTITION TO BE REMOVED.
02-51	CARPET TO BE REMOVED.
02-52	VINYL FLOORING TO BE REMOVED.
02-53	LAMINATE FLOORING TO BE REMOVED.
02-54	REMOVE HVAC UNITS.
02-55	REMOVE FLUORESCENT LIGHT TRAYS.
02-58	REMOVE WALL PLAQUE AND SALVAGE FOR REINSTALLATION AT DIFFERENT LOCATION.
02-62	SEAL ROOF VENT IN PLACE. PROVIDE COVERING IN ATTIC CEILING AT VENT LOCATION.
02-63	REMOVE ROOFING.

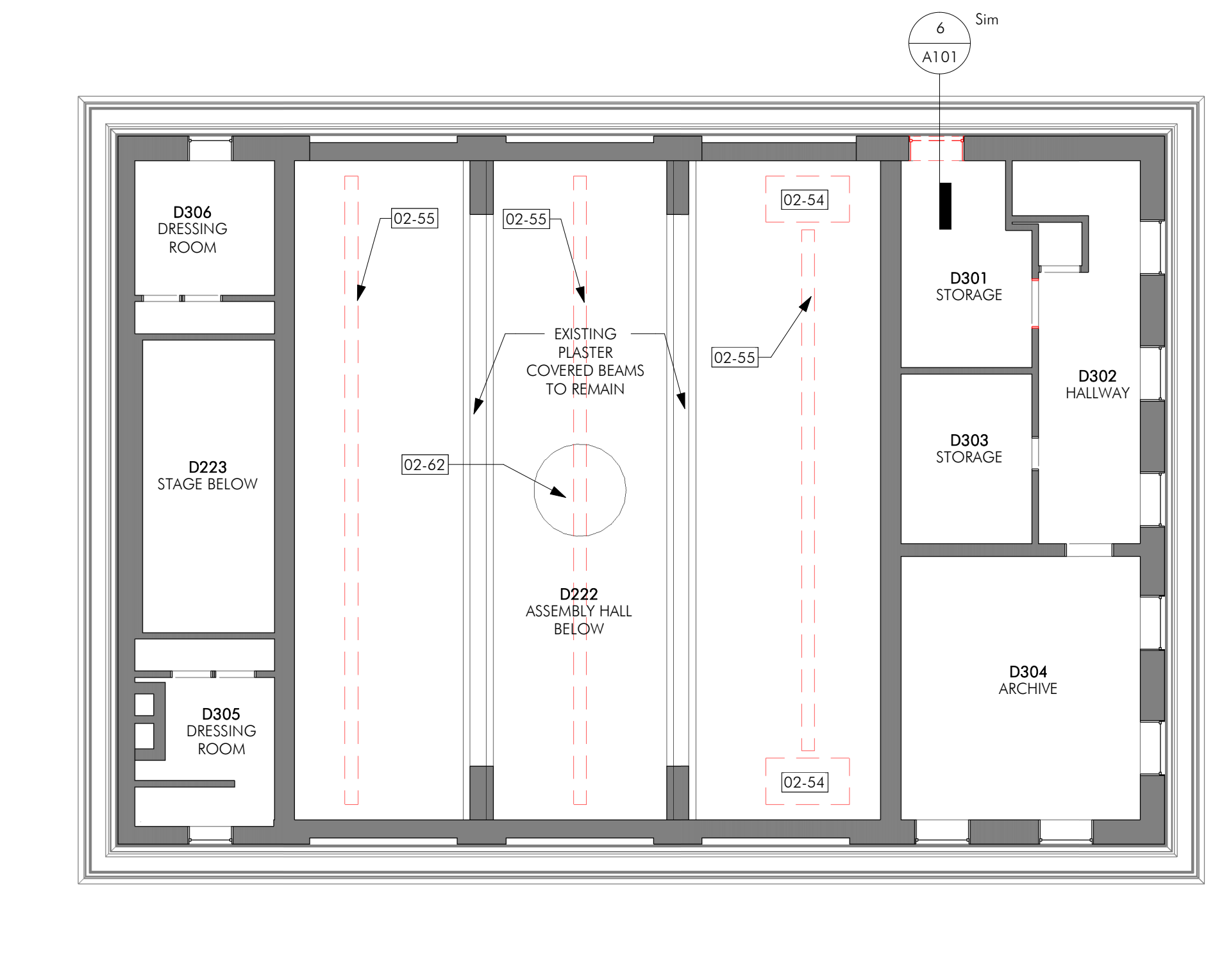
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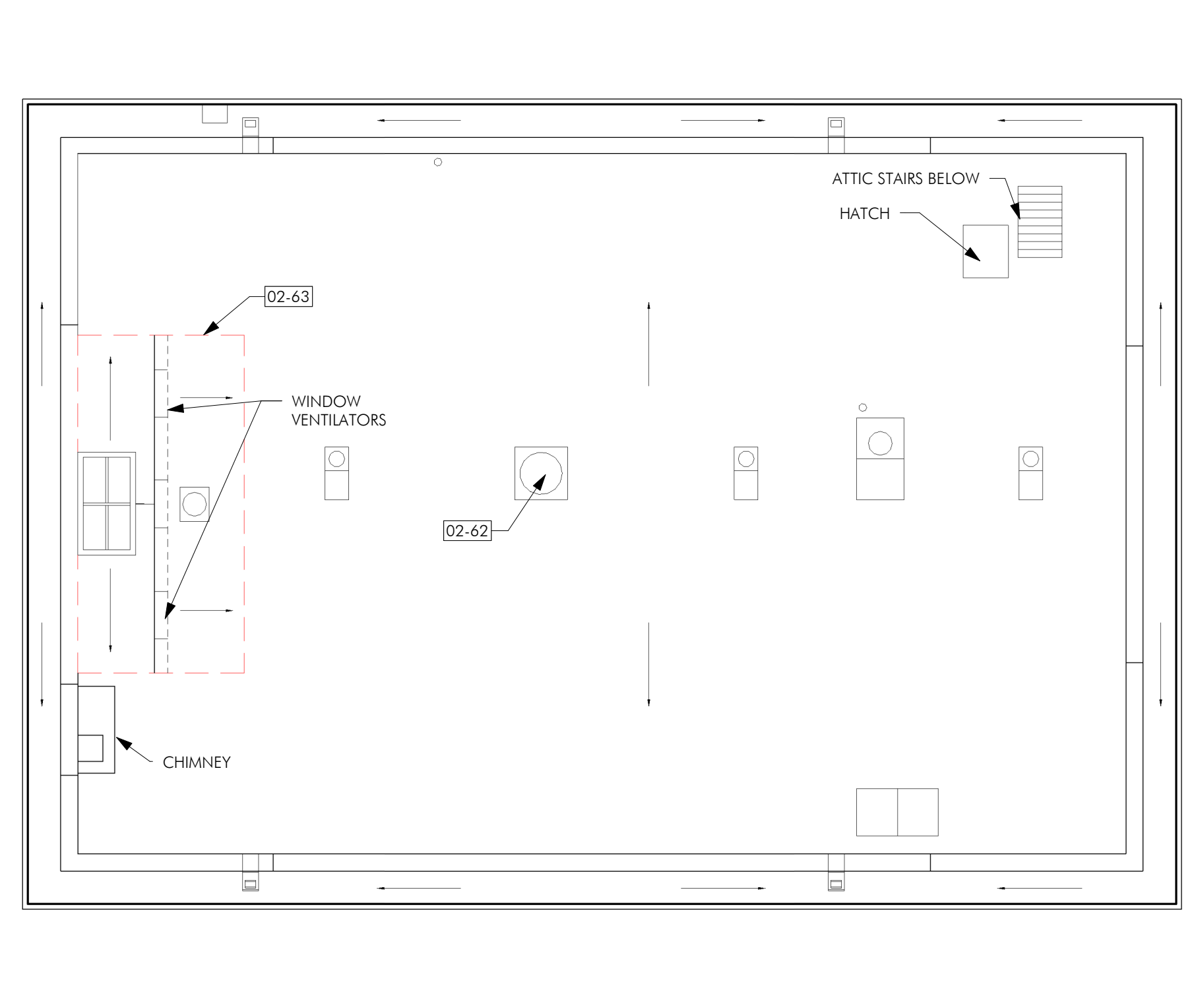
1 | FIRST FLOOR DEMOLITION PLAN  
 A102 | 1/4" = 1'-0"



2 | THIRD FLOOR DEMOLITION PLAN  
 A102 | 1/8" = 1'-0"

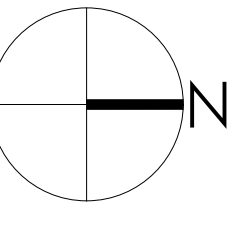


3 | THIRD FLOOR DEMOLITION RCP  
 A102 | 1/8" = 1'-0"



4 | ROOF DEMOLITION PLAN  
 A102 | 1/8" = 1'-0"

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CHARLES THOMPSON MEMORIAL HALL  
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 DRAWN BY: [Signature] DATE: 04.30.2021

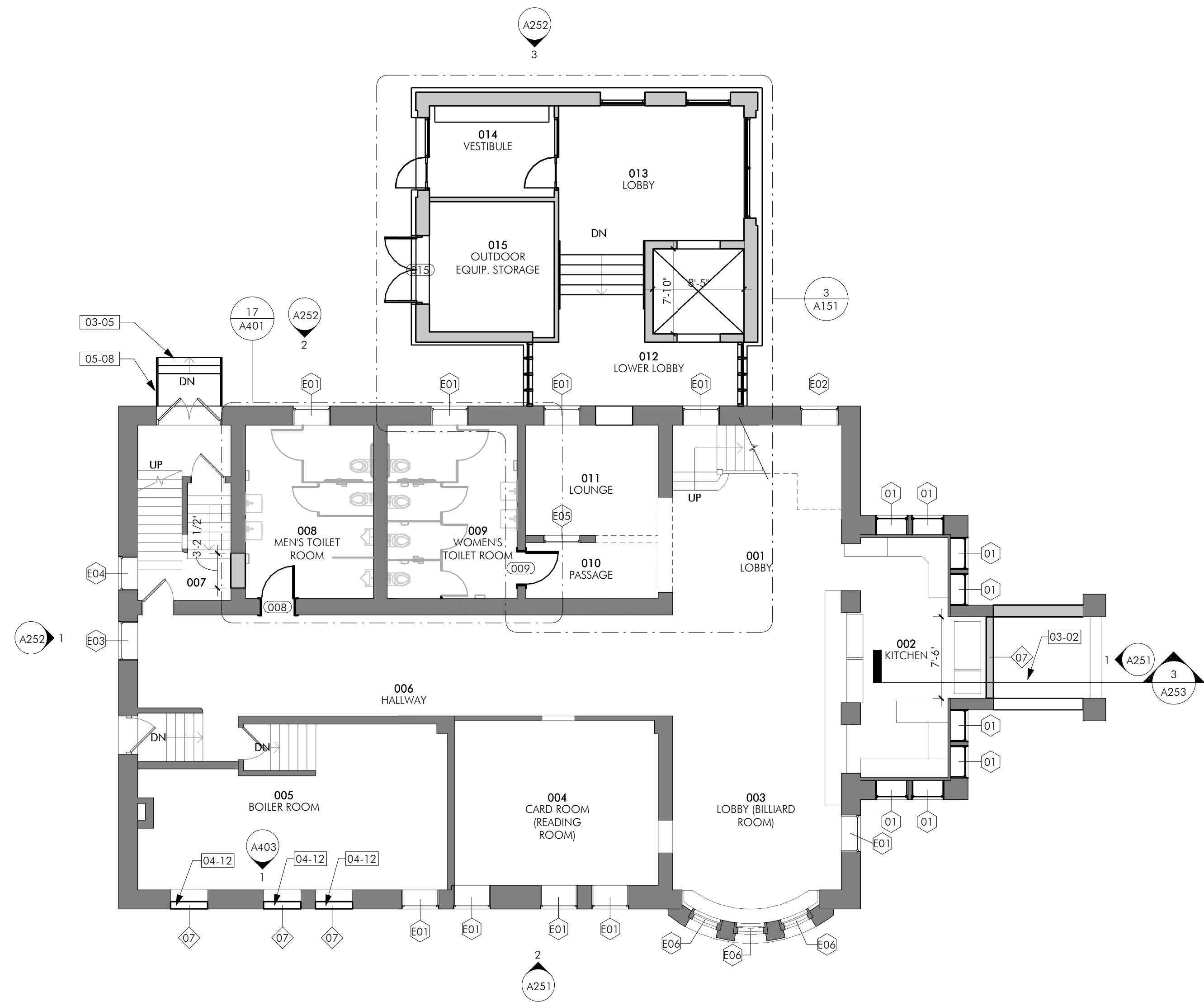
DEMOLITION PLANS & DEMOLITION RCPs

A102

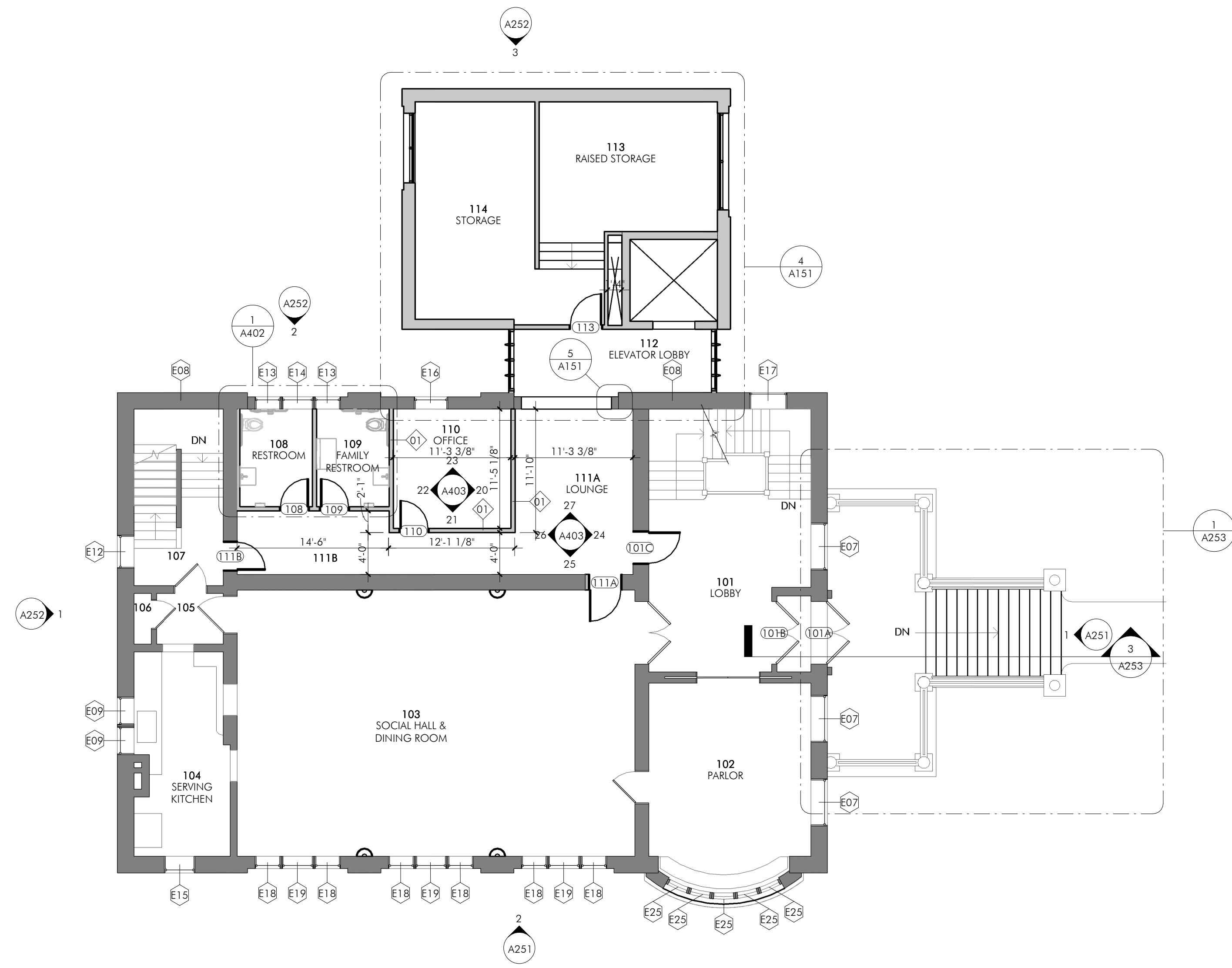
- PLEASE REFER TO SHEET G000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.
- FULL HEIGHT METAL STUD PARTITIONS SHALL RUN FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AND INCLUDE FINISH MATERIAL FOR FULL HEIGHT. SEAL ALL JOINTS AT PERIMETER OF WALLS.
- FURRING PARTITIONS SHALL RUN TO 6" ABOVE THE FINISHED CEILING AND SHALL BE BRACED BACK TO THE EXISTING WALL.
- ALL FULL HEIGHT METAL STUD PARTITIONS SHALL BE 24" O.C.
- ALL MEASUREMENTS TAKEN FROM FINISH FACE OF WALLS.

KEYNOTES

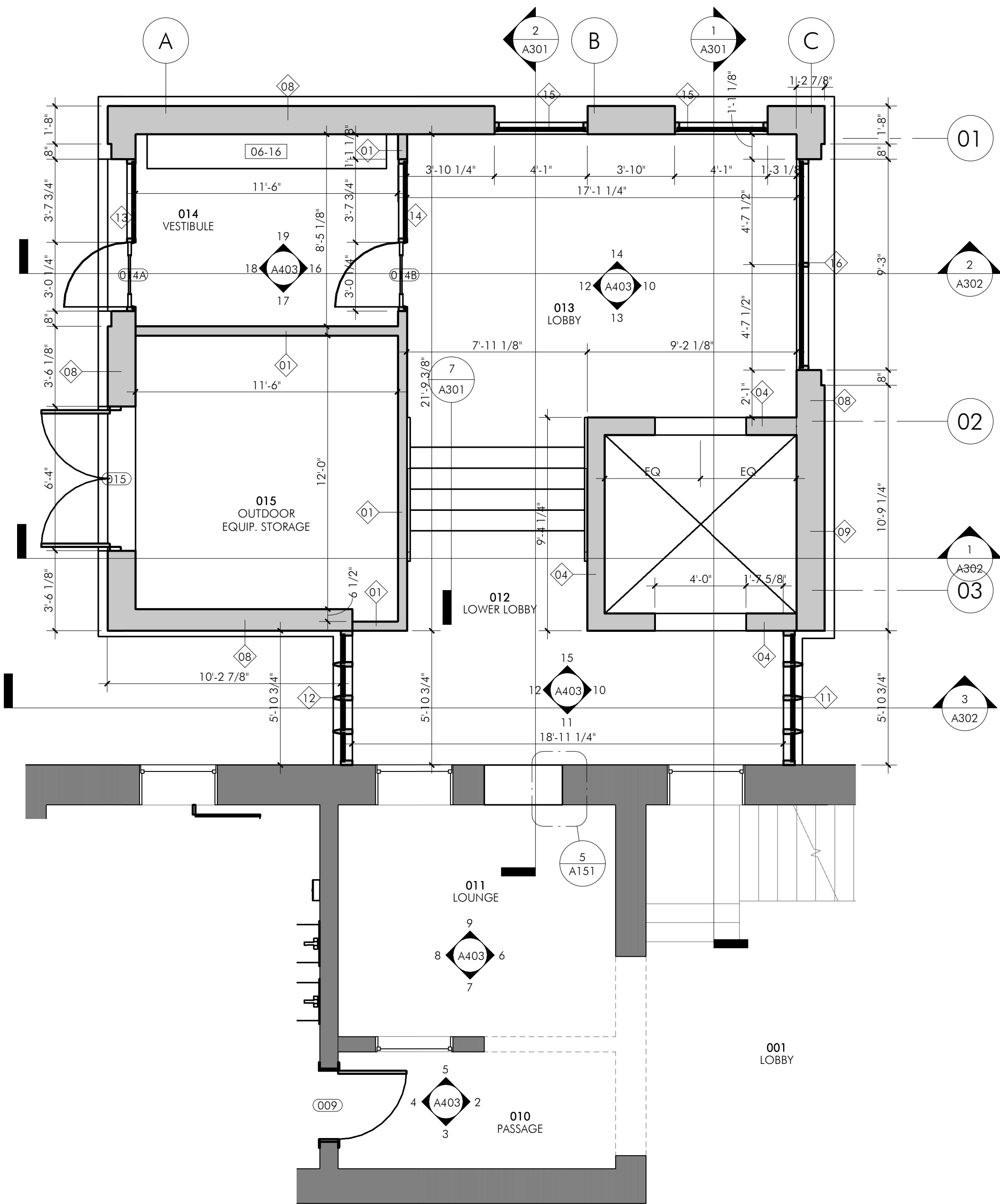
03-02	INFILL AREA BENEATH STAIR. SEE STRUCTURAL.
03-05	NEW CONCRETE STAIRS.
04-12	INFILL OPENINGS WITH CONCRETE MASONRY UNITS. PROVIDE WATERPROOFING.
05-08	INSTALL HANDRAIL AND GUARDRAIL.
06-16	INSTALL WOOD ENTRY BENCH WITH SUPPORTS.



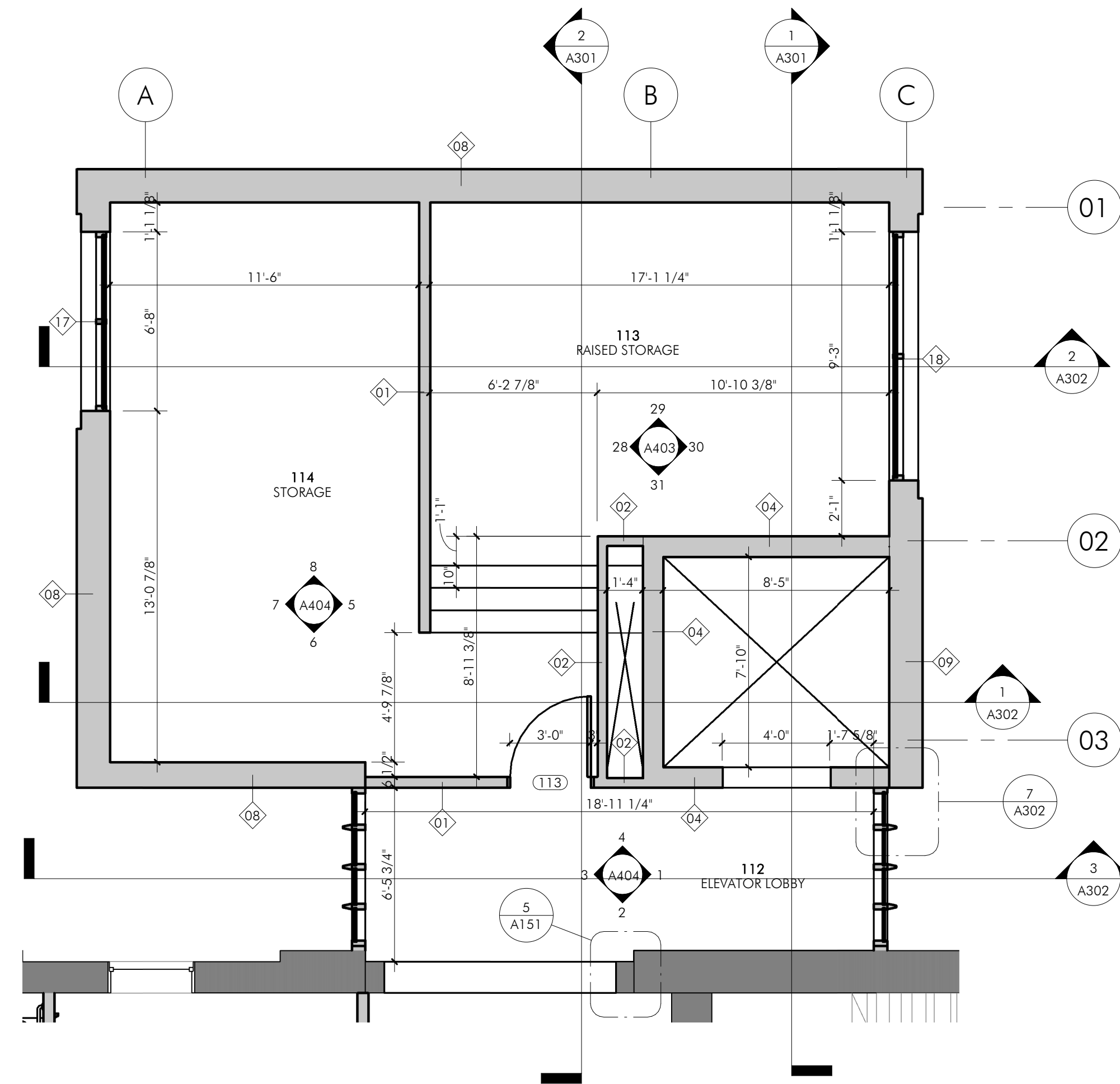
2 LOWER LEVEL CONSTRUCTION PLAN  
 A151 1/8" = 1'-0"



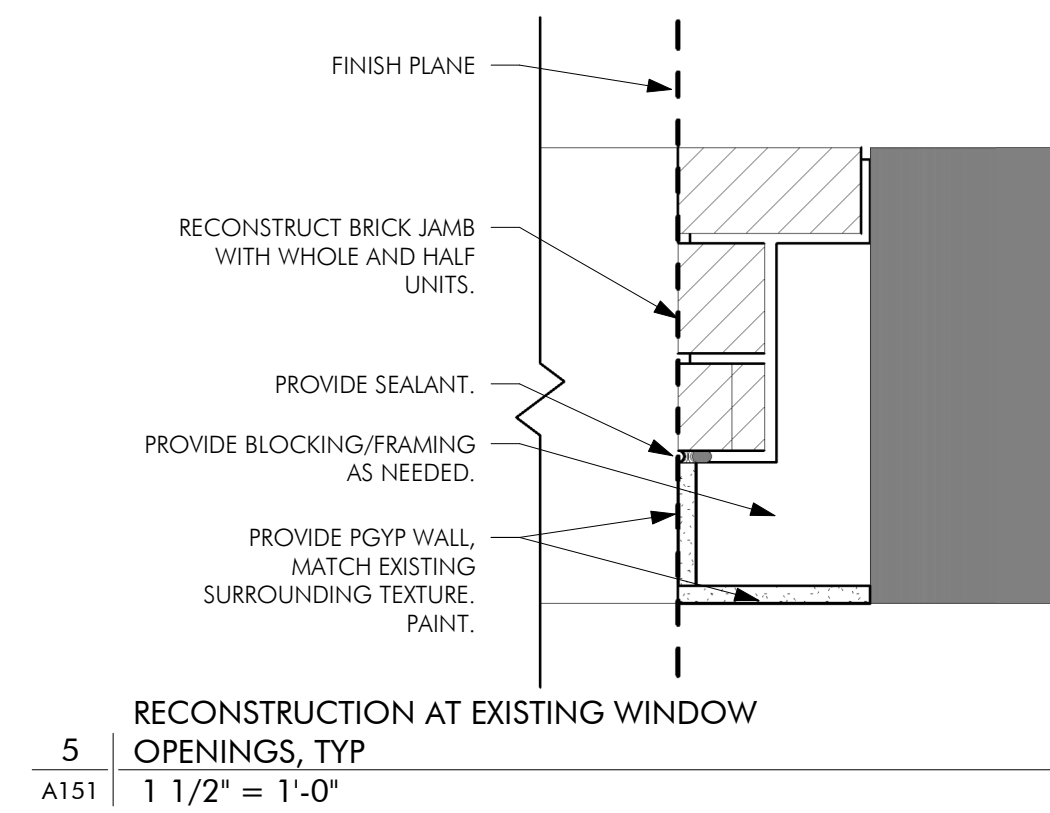
1 FIRST FLOOR CONSTRUCTION PLAN  
 A151 1/8" = 1'-0"



3 ADDITION - LOWER LEVEL FLOOR PLAN  
 A151 1/4" = 1'-0"



4 ADDITION - FIRST FLOOR PLAN  
 A151 1/4" = 1'-0"

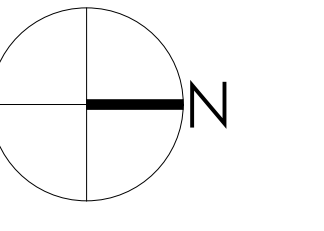


5 RECONSTRUCTION AT EXISTING WINDOW OPENINGS, TYP  
 A151 1 1/2" = 1'-0"

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 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY: fig. BV  
 DATE: 04.30.2021

CONSTR PLANS & ENLARGED PLANS

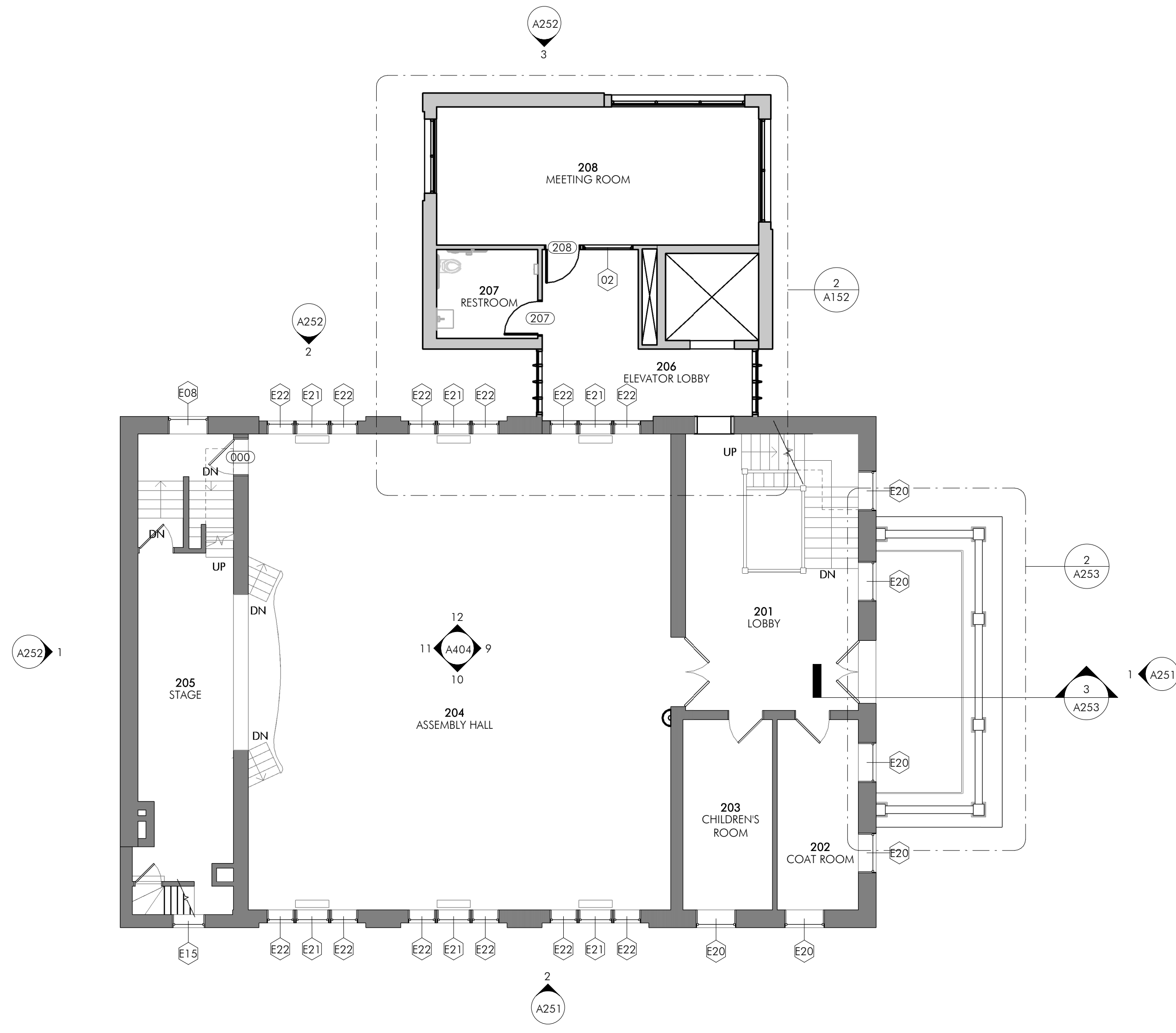
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SHEET NOTES

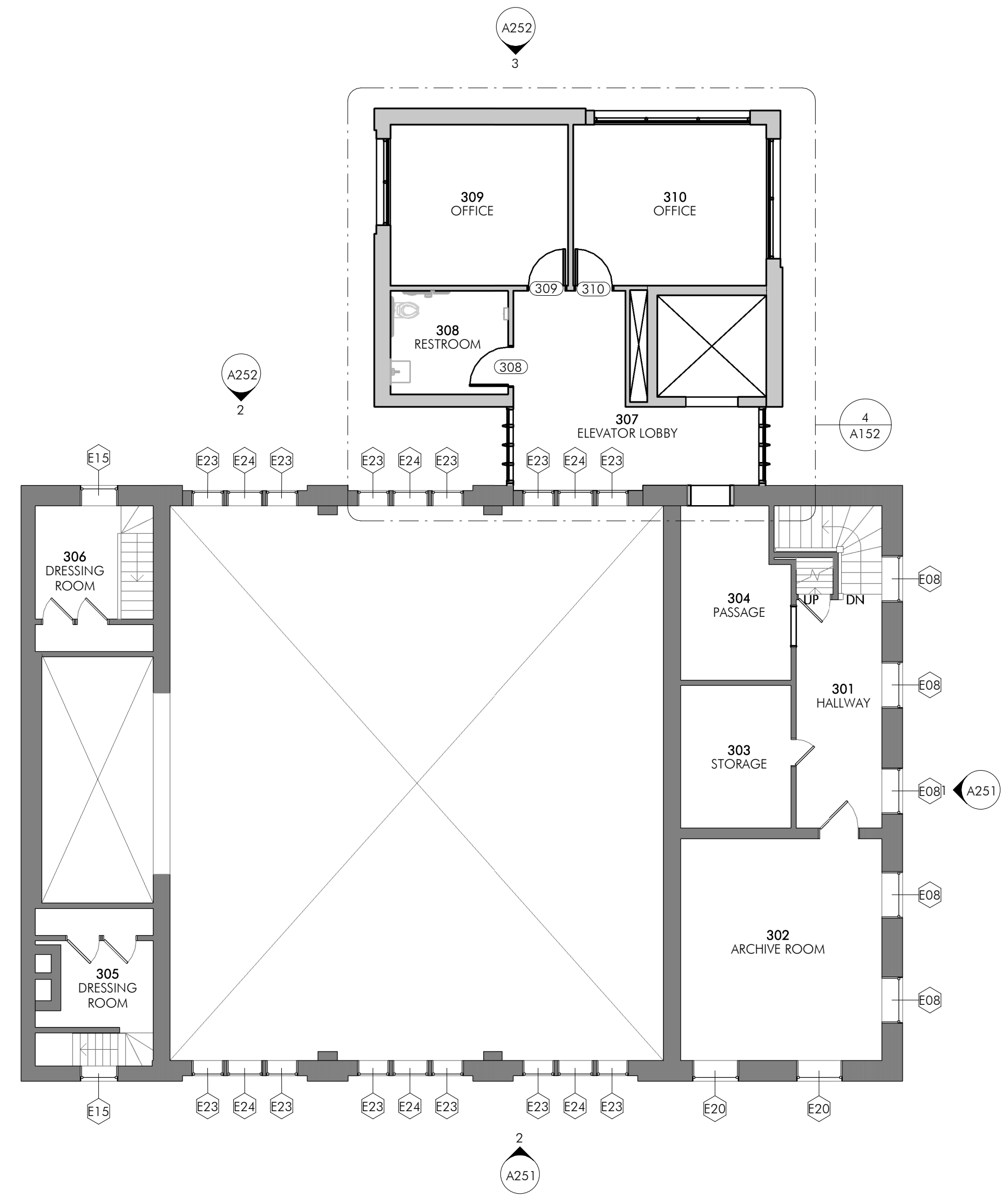
- PLEASE REFER TO SHEET G000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.
- FULL HEIGHT METAL STUD PARTITIONS SHALL RUN FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AND INCLUDE FINISH MATERIAL FOR FULL HEIGHT. SEAL ALL JOINTS AT PERIMETER OF WALLS.
- FURRING PARTITIONS SHALL RUN TO 6" ABOVE THE FINISHED CEILING AND SHALL BE BRACED BACK TO THE EXISTING WALL.
- ALL FULL HEIGHT METAL STUD PARTITIONS SHALL BE 24" O.C.
- ALL MEASUREMENTS TAKEN FROM FINISH FACE OF WALLS.

KEYNOTES

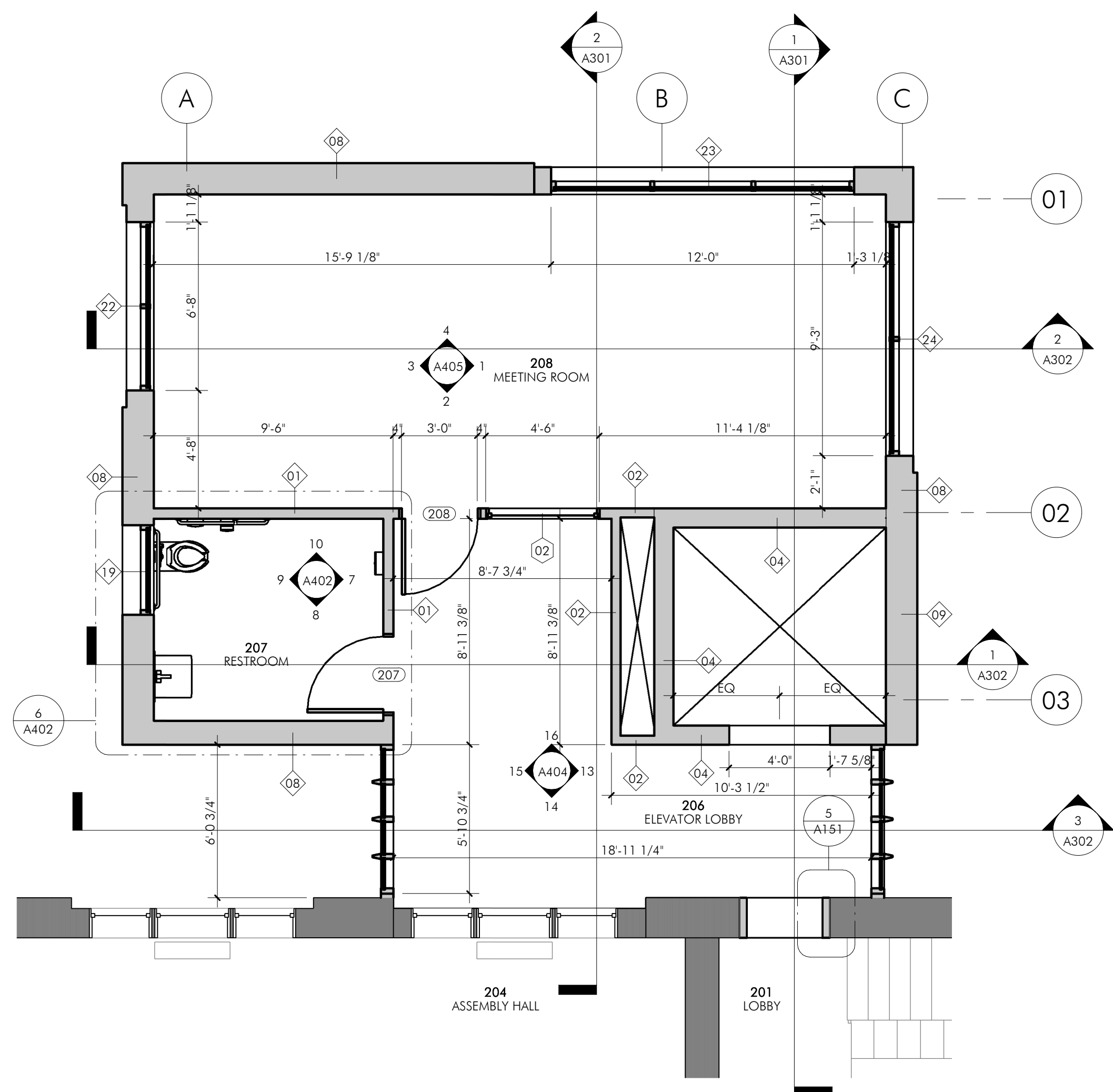
07-03	PROVIDE NEW EPDM ROOF.
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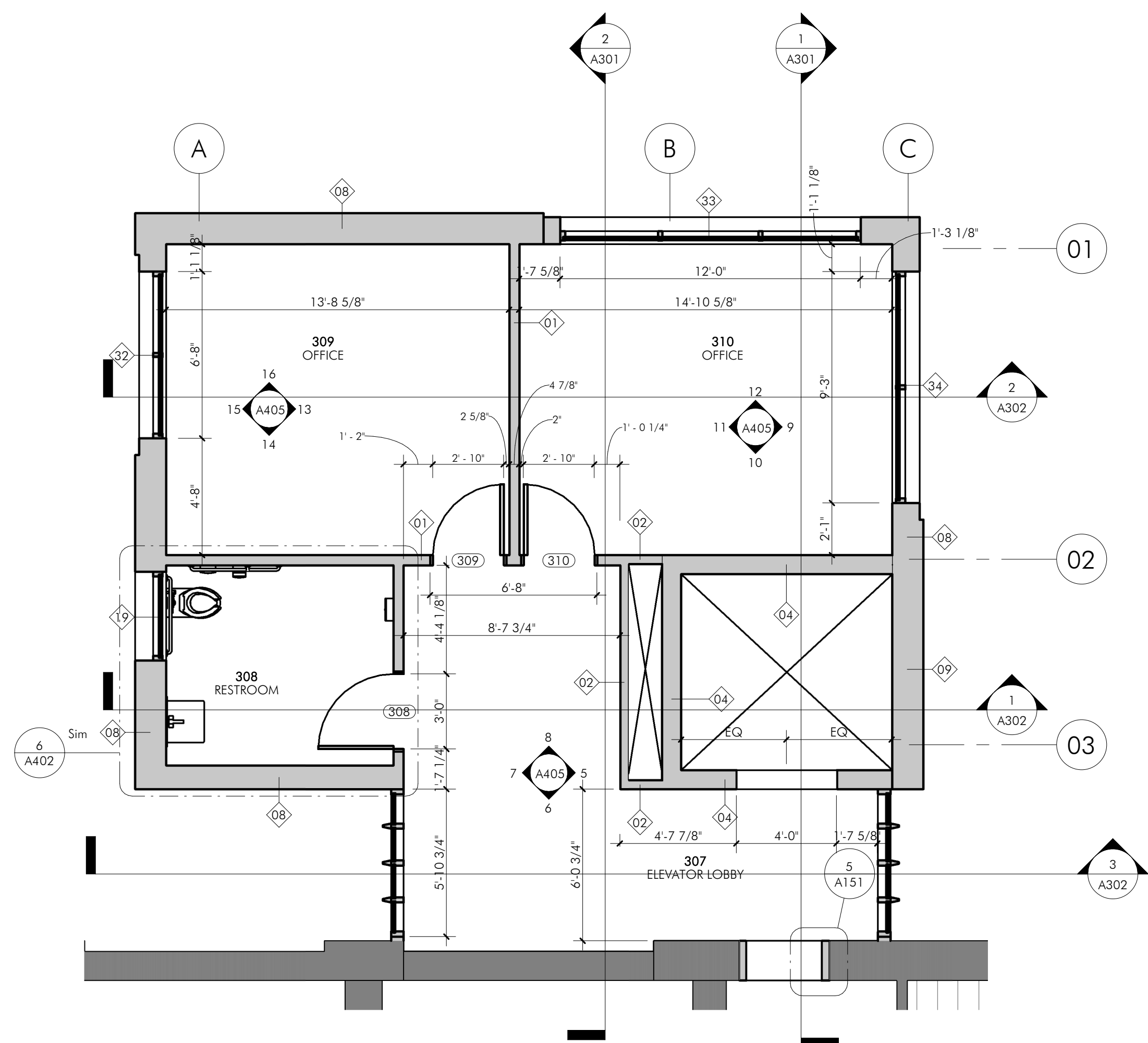
1 SECOND FLOOR CONSTRUCTION PLAN  
 A152 1/8" = 1'-0"



3 THIRD FLOOR CONSTRUCTION PLAN  
 A152 1/8" = 1'-0"

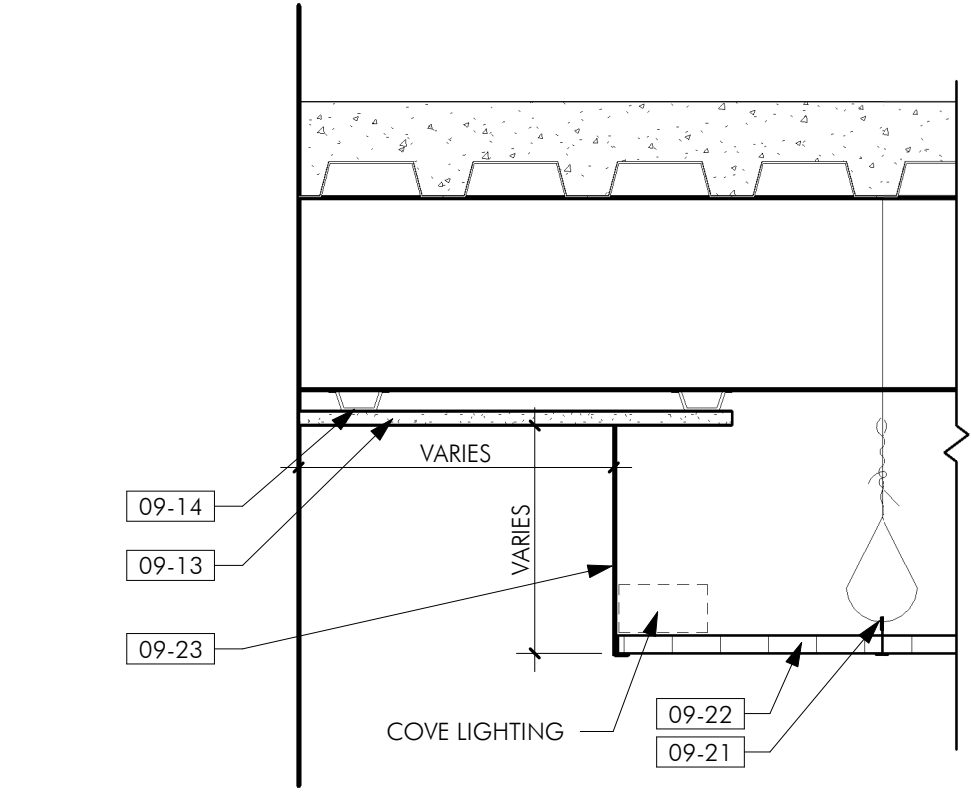


2 ADDITION - SECOND FLOOR PLAN  
 A152 1/4" = 1'-0"

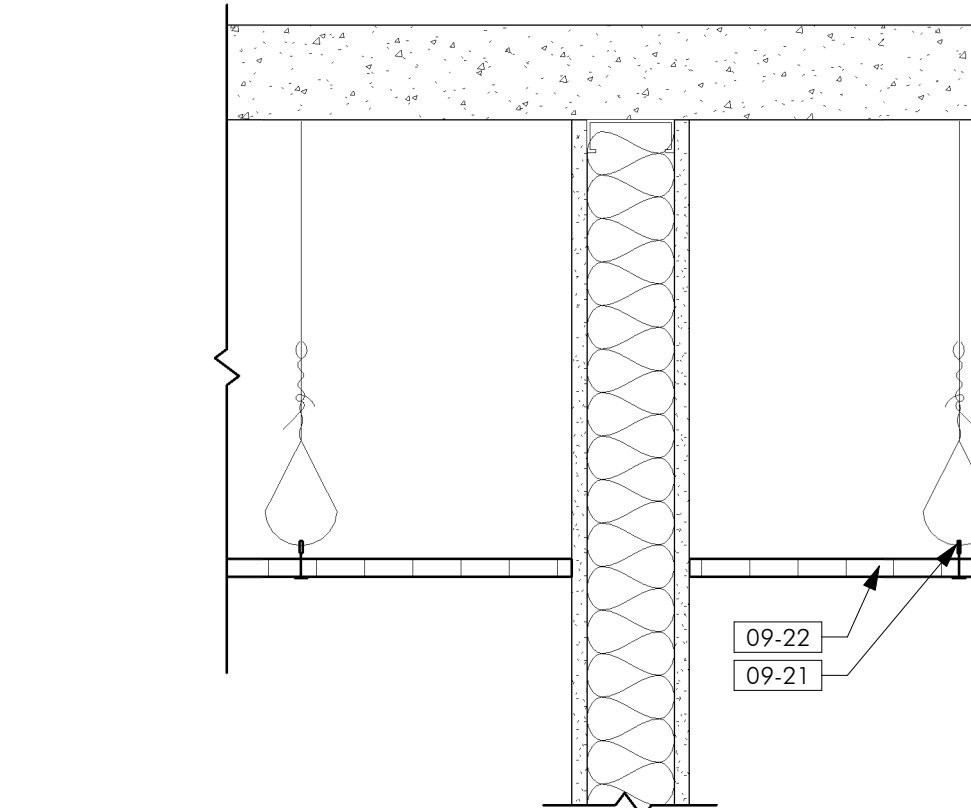


**SHEET NOTES**

- PLEASE REFER TO SHEET 0000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.
- FULL HEIGHT METAL STUD PARTITIONS SHALL RUN FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AND INCLUDE FINISH MATERIAL FOR FULL HEIGHT. SEAL ALL JOINTS AT PERIMETER OF WALLS.
- FURRING PARTITIONS SHALL RUN TO 4" ABOVE THE FINISHED CEILING AND SHALL BE BRACED BACK TO THE EXISTING WALL.
- ALL FULL HEIGHT METAL STUD PARTITIONS SHALL BE 24" O.C.
- ALL MEASUREMENTS TAKEN FROM FINISH FACE OF WALLS.



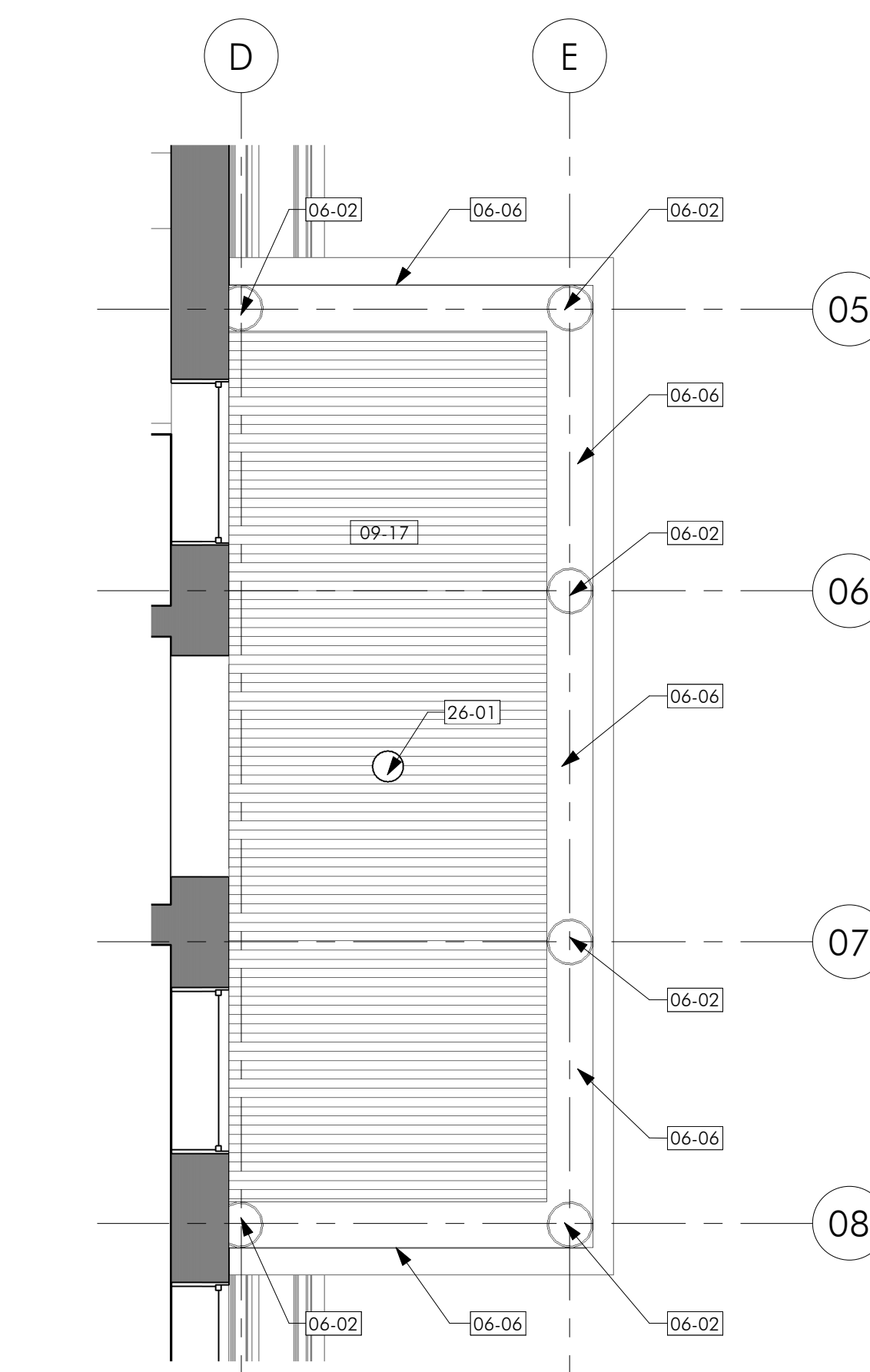
**6 NEW ACT WITH VERTICAL - SECTION**  
 A153 1 1/2" = 1'-0"



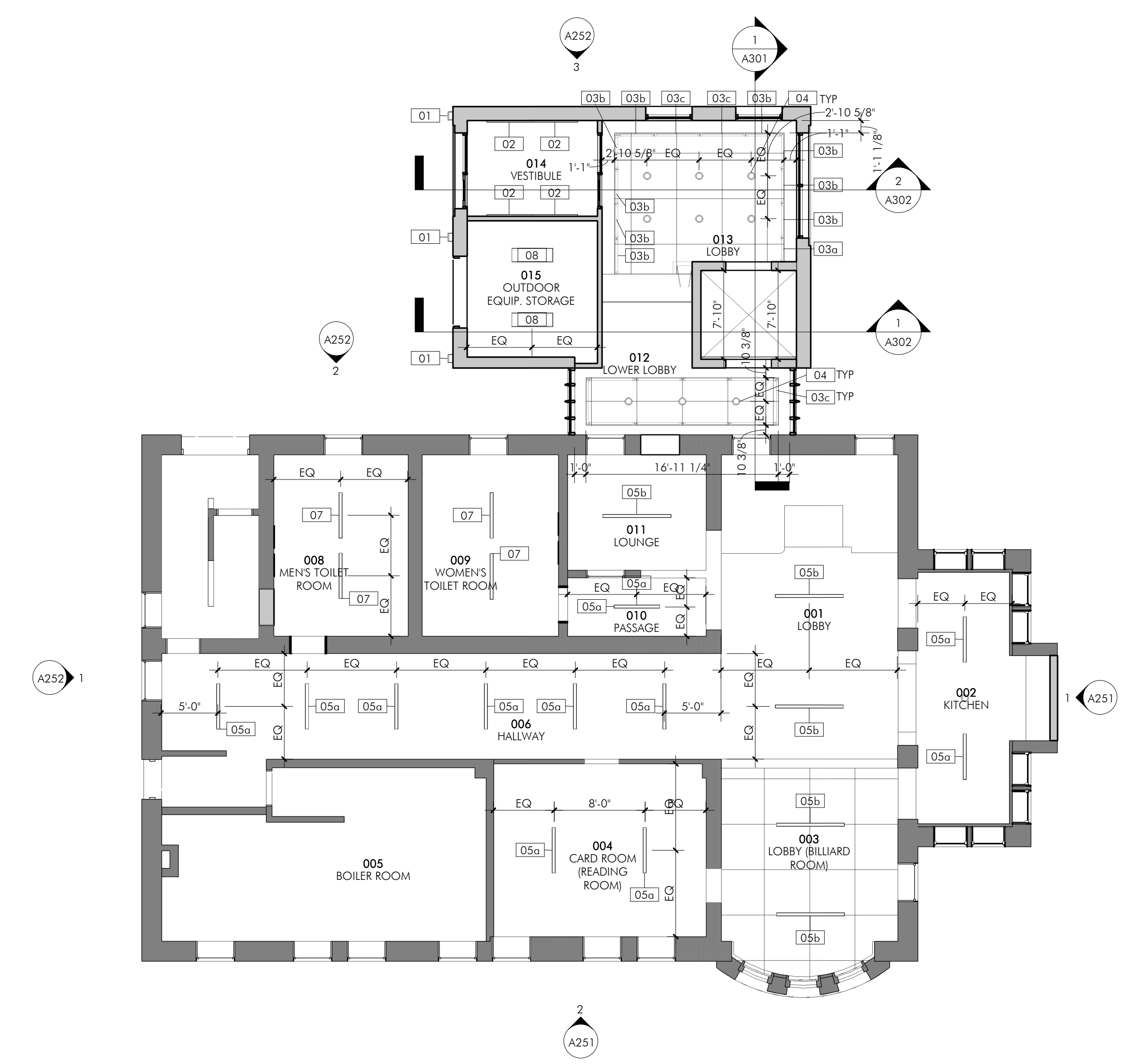
**7 ACOUSTIC CEILING TILE - SECTION, TYP**  
 A153 1 1/2" = 1'-0"

**KEYNOTES**

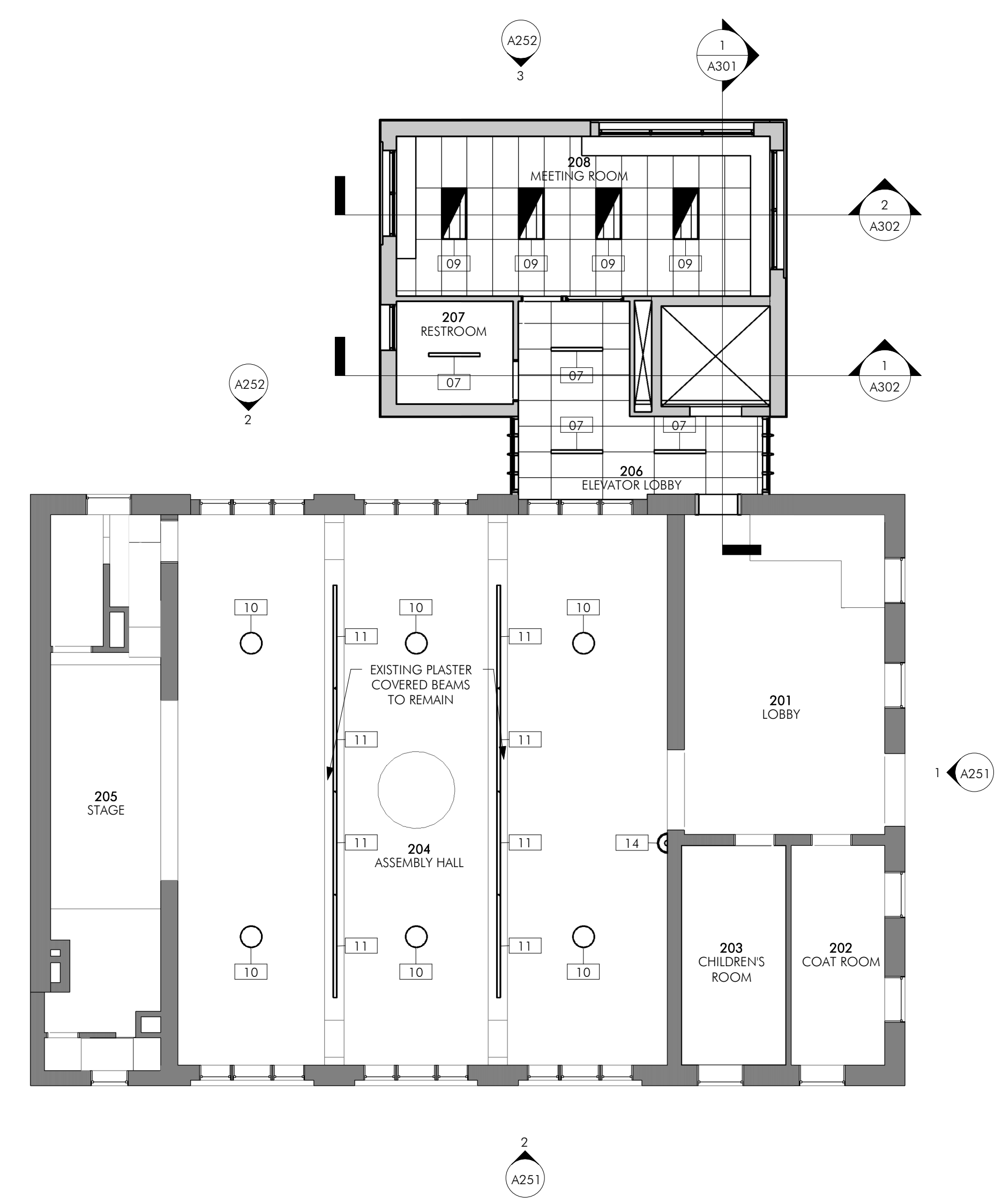
06-02	INSTALL CHADSWORTH FULL ROUND 1 1/4" TUSCAN COLUMN AND REINSTALL SALVAGED BASES.
06-66	REPAIR WOOD ENTABLATURE, INCLUDING CORNICE, INSIDE OF FRIEZE, AND ARCHITRAVE, WITH CONSOLIDANT PAINT.
09-13	PROVIDE 5/8" GYP.
09-14	PROVIDE 7/8" HAT CHANNEL FRAMING @ 24" O.C. MAX.
09-17	CLEAN BEADBOARD CEILING WITH MILD DETERGENT. RESEAL.
09-21	PROVIDE SUSPENSION WIRE WITH T-BAR SUPPORT.
09-22	PROVIDE ACOUSTIC CEILING TILE. SEE FINISH SCHEDULE.
09-23	PROVIDE COMPASSO TRIM.
26-01	INSTALL REHABILITATED REPENDANT LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE.



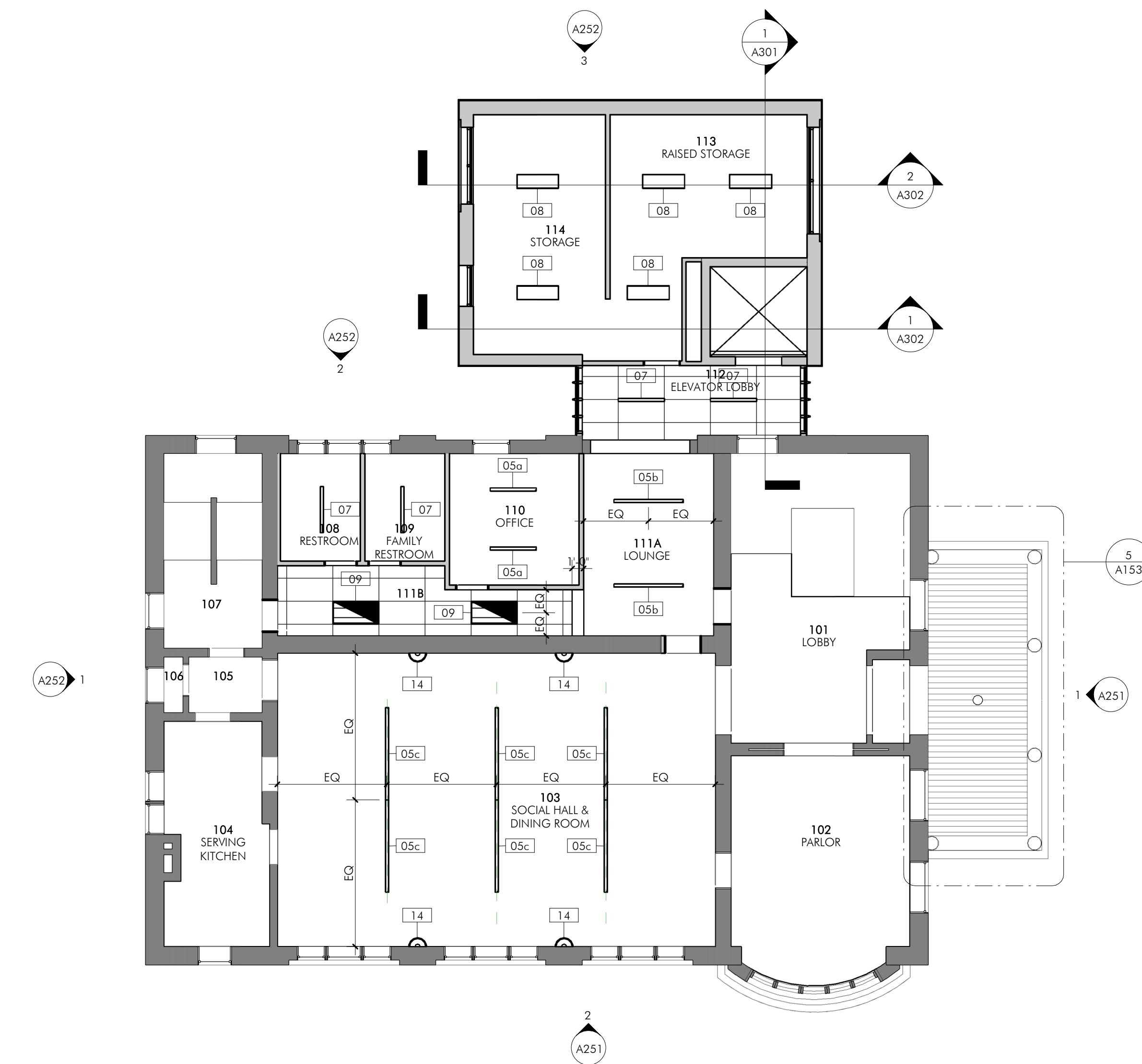
**5 FIRST FLOOR PORCH - ENLARGED RCP**  
 A153 1/4" = 1'-0"



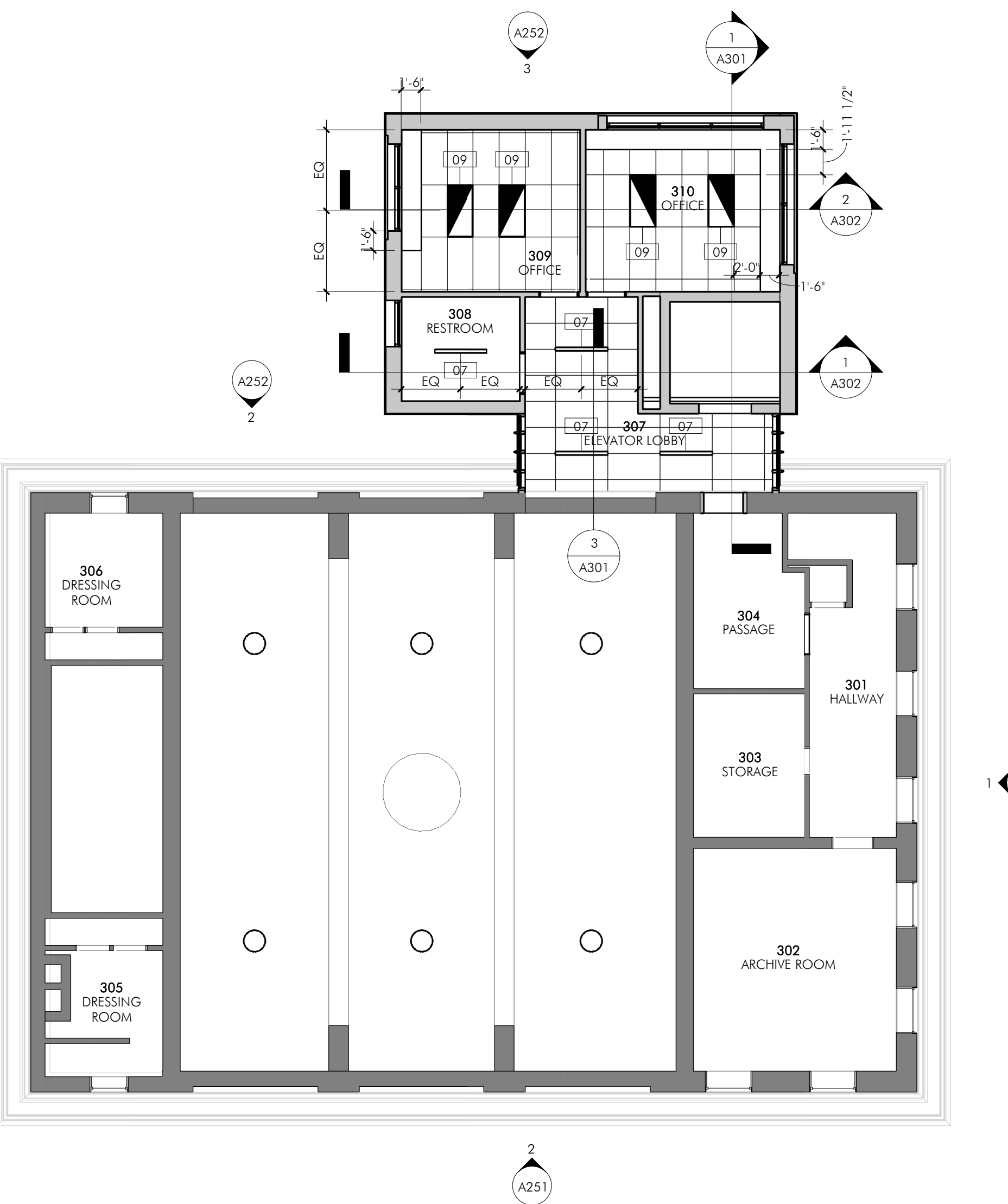
**1 LOWER LEVEL CONSTR RCP**  
 A153 1/8" = 1'-0"



**4 SECOND FLOOR CONSTR RCP**  
 A153 1/8" = 1'-0"



**2 FIRST FLOOR CONSTR RCP**  
 A153 1/8" = 1'-0"



**3 THIRD FLOOR CONSTR RCP**  
 A153 1/8" = 1'-0"

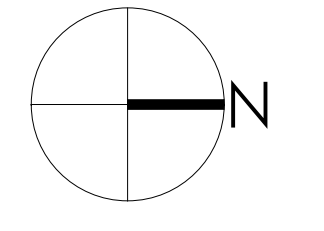
**LIGHTING FIXTURE SCHEDULE**

ID	FIXTURE TYPE	MANUF.	DESCRIPTION	Electrical Data	WATTAGE	SOURCE	COLOR TEMP	REMARKS
01	01 - WEDGE1 LED Wall Mount	Acuity Brands Lighting	WDGE1 LED P1 27K 80CRI VF	120 V/1-0 VA	0 W	LED	3200 K	
02	02 - SLOT 1 Direc Wall - 4ft	Acuity Brands Lighting	S1LWD 2FT 600LMF 35K STD	120 V/1-0 VA	14 W	LED	3200 K	
03a	03 - Markcove Linear Tunable White and Warm Dimming - 2ft	Acuity Brands Lighting	MCV504 2FT 120x120DEG 1000LMF 80CRI 27K	120 V/1-0 VA	0 W	LED	3200 K	
03b	03 - Markcove Linear Tunable White and Warm Dimming - 3ft	Acuity Brands Lighting	MCV504 3FT 120x120DEG 1000LMF 80CRI 27K	120 V/1-0 VA	0 W	LED	3200 K	
03c	03 - Markcove Linear Tunable White and Warm Dimming - 4ft	Acuity Brands Lighting	MCV504 4FT 120x120DEG 1000LMF 80CRI 27K	120 V/1-0 VA	0 W	LED	3200 K	
04	6" Trimless Downlight			120 V/1-20 VA	5 W	LED	2700 K	
05a	05 - Slot 4 LED Direct Pendant Tunable White - 4'	Acuity Brands Lighting	S4LD 4FT 80CRI 27K 1000LMF	120 V/1-0 VA	0 W	LED	3200 K	
05b	05 - Slot 4 LED Direct Pendant Tunable White - 6'	Acuity Brands Lighting	S4LD 6FT 80CRI 27K 1000LMF	120 V/1-0 VA	0 W	LED	3200 K	
05c	05 - Slot 4 LED Direct Pendant Tunable White - 8'	Acuity Brands Lighting	S4LD 8FT 80CRI 27K 1000LMF	120 V/1-0 VA	0 W	LED	3200 K	
07	07 - Slot 4 LED Design2Ship™ Surface Mount Tunable White	Acuity Brands Lighting	S4LS U4 80CRI 27K 600LMF TUWH RHYR	120 V/1-0 VA	14 W	LED	3200 K	
08	08 - I-BEAM® IBE High Bay	Acuity Brands Lighting	IBE L48 18000LM ATC MD XXXX 40K 80CRI	120 V/1-277 VA	83 W	LED	3200 K	
09	09 - VTL VT Series LED Troffer	Acuity Brands Lighting		120 V/1-0 VA	0 W	LED	3200 K	
10	10 - Reproduction Glass & Brass Pendant			120 V/1-15 VA	12 W		3200 K	
11	11 - Slot 4 LED Direct/Indirect Pendant - 8'	Acuity Brands Lighting	S4LID 8FT 80CRI 27K 1000LMF I1000LMF	120 V/1-0 VA	0 W	LED	3200 K	
12	12 - Existing Exterior Porch Ceiling Fixture			120 V/1-15 VA	15 W	LED	2700 K	
13	13 - Existing Exterior Porch Posts Fixtures			120 V/1-15 VA	15 W	LED	2700 K	REPLACE LAMPS.
14	14 - Existing Historic Wall Sconce			120 V/1-60 VA	60 W	A-19	2800 K	REPLACE LAMPS.

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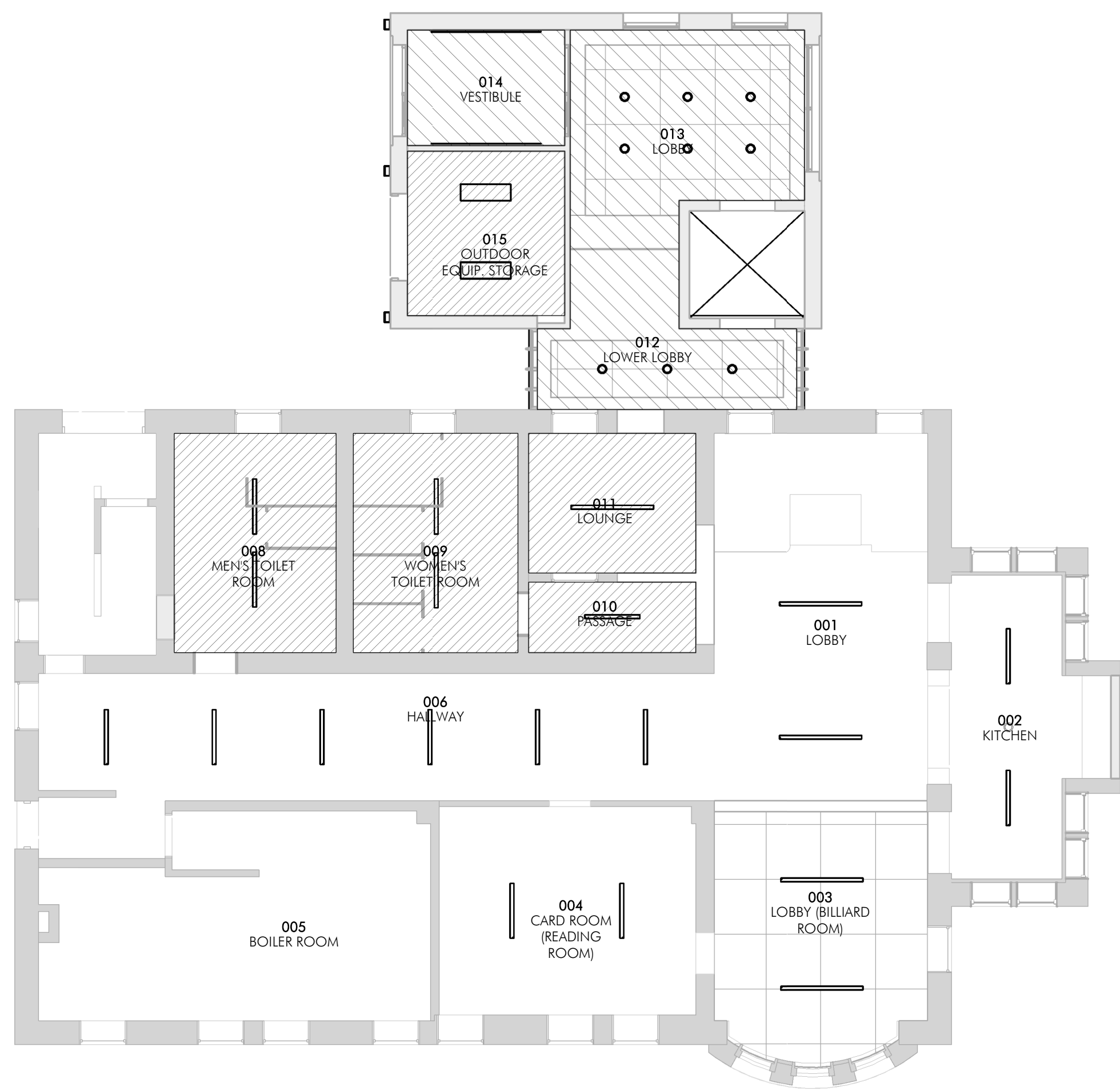


**CHARLES THOMPSON MEMORIAL HALL**  
 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY: [Signature] DATE: 04-30-2021

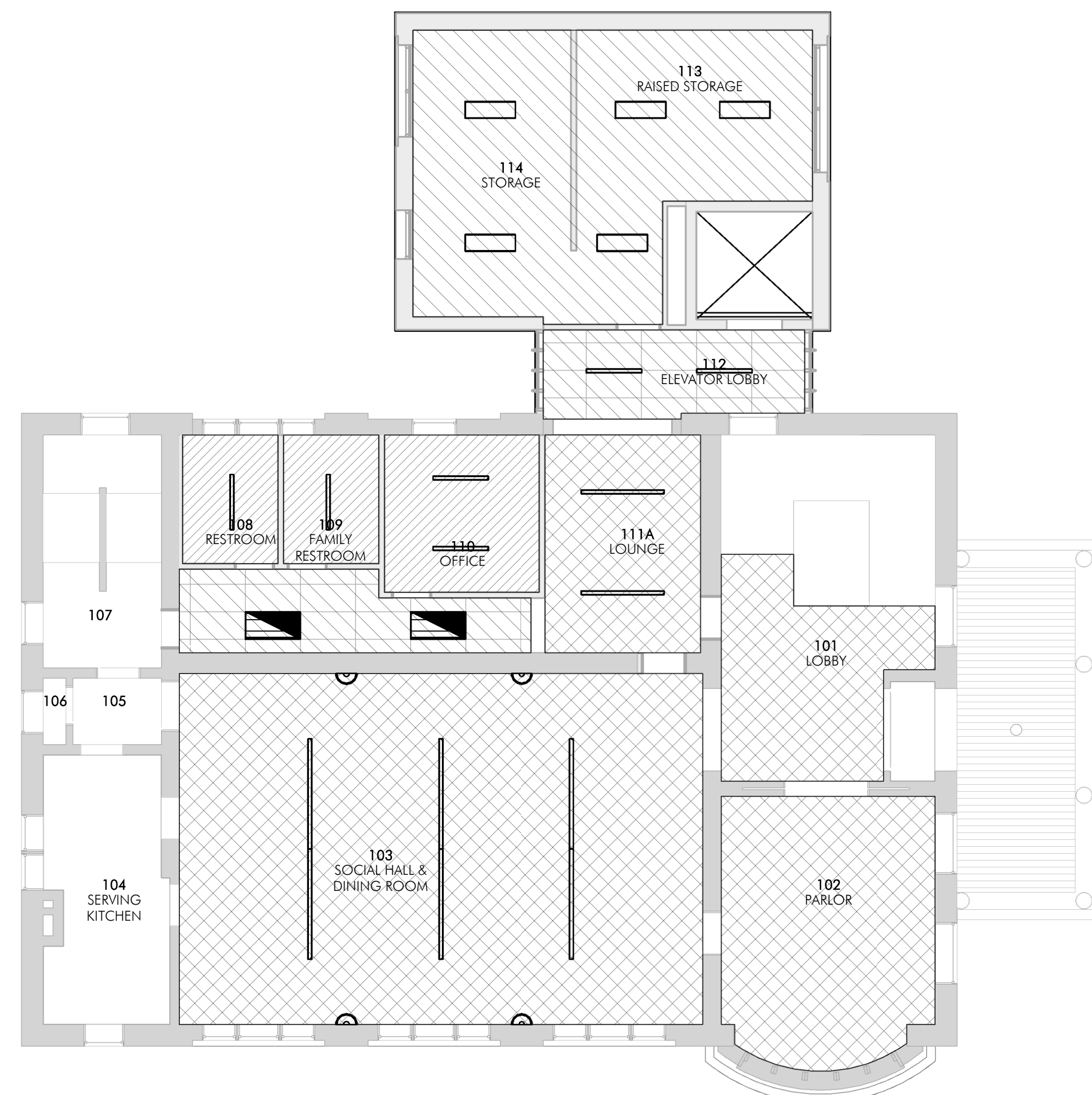
CONSTR REFLECTED  
 CEILING PLANS &  
 LIGHT FIXTURE SCH.

SHEET NOTES

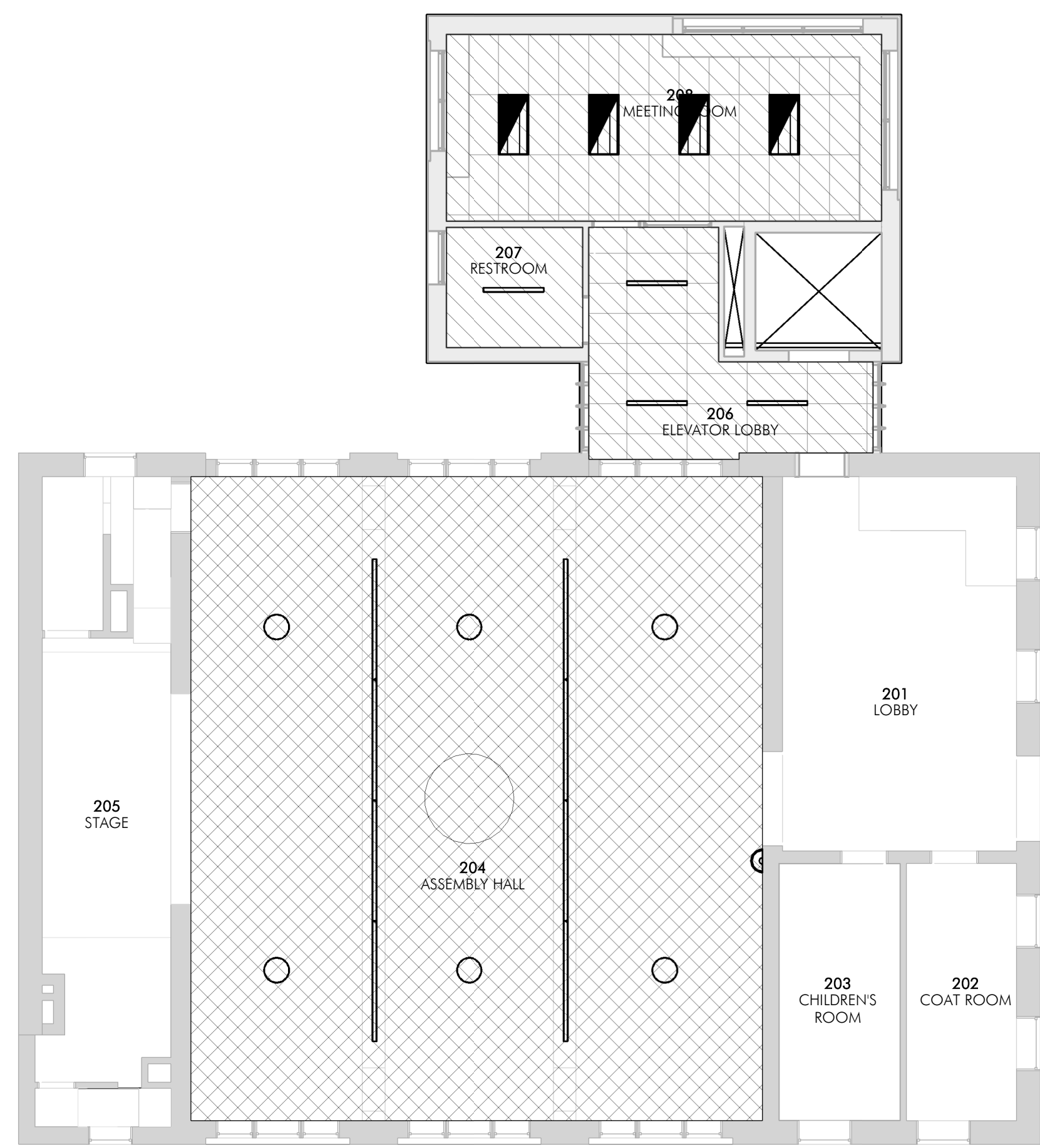
1. INSTALL SPRINKLERS IN ENTIRE BUILDING. REFER TO SHEET LEGEND FOR DESIGN CONSIDERATIONS.
2. SEE PLUMBING DRAWINGS FOR ATTIC SPRINKLER DESIGN.



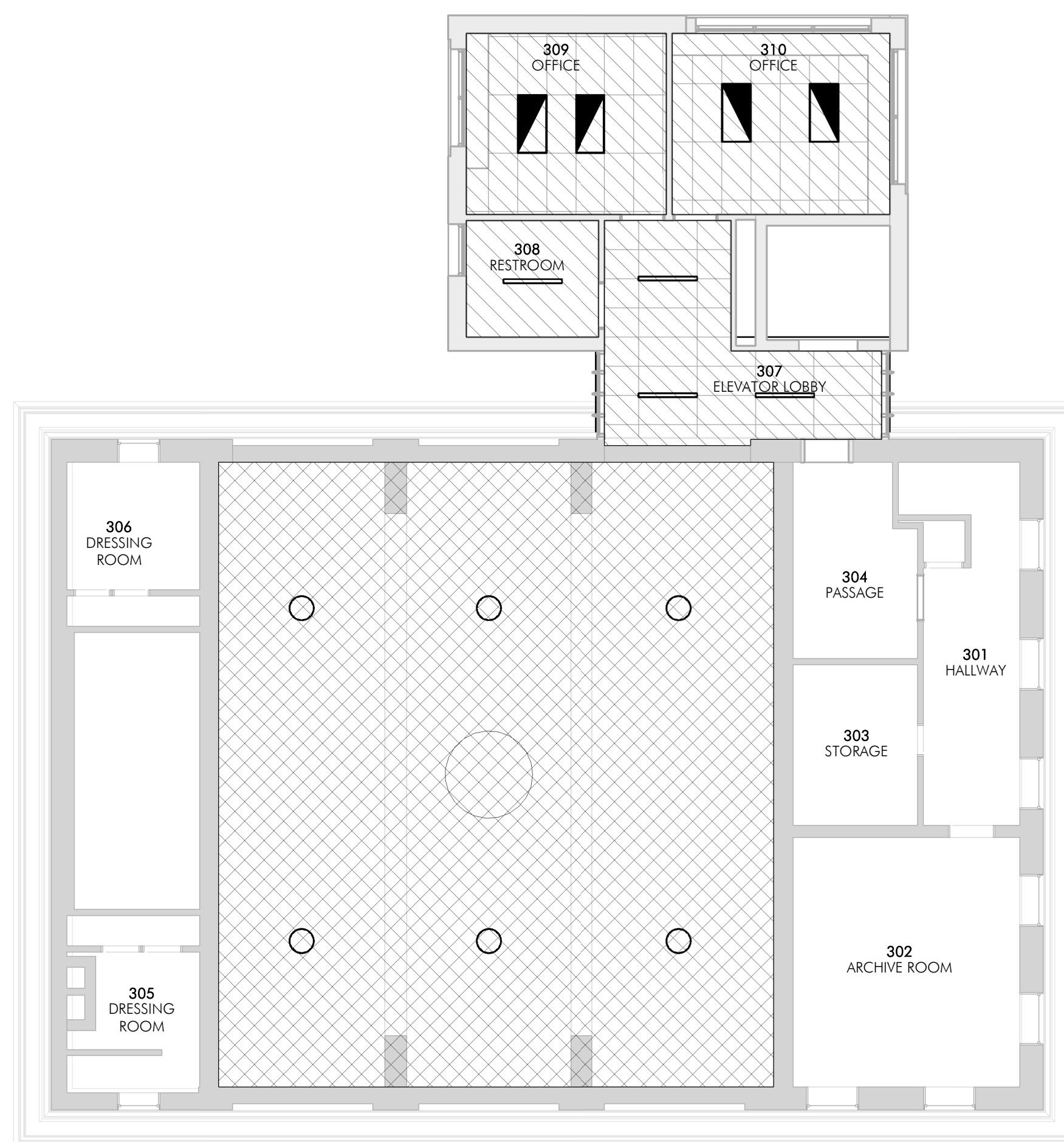
1 LOWER LEVEL SPRINKLER RCP  
 A154 1/8" = 1'-0"



2 FIRST FLOOR SPRINKLER RCP  
 A154 1/8" = 1'-0"



3 SECOND FLOOR SPRINKLER RCP  
 A154 1/8" = 1'-0"



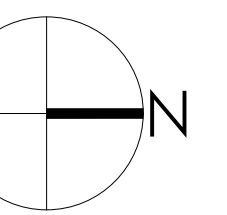
4 THIRD FLOOR SPRINKLER RCP  
 A154 1/8" = 1'-0"

KEYNOTES

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LEGEND

- ZONE 01:
  - NO EXPOSED PIPING.
  - NO RISERS.
  - RUN SPRINKLER LINES IN FLOOR STRUCTURE. WILL REQUIRE PLASTER REMOVAL/REPAIR. DEVELOP METHODOLOGY AND PATHS WHICH MINIMIZE PLASTER REMOVAL DURING INSTALLATION OF SPRINKLER SYSTEM.
- ZONE 02:
  - PIPING AND/OR RISERS TO BE CONCEALED BY NEW DROP CEILING OR NEW GWB CEILING.
- ZONE 03:
  - EXPOSED PIPING AND/OR RISERS ACCEPTABLE.



**1** DEMO NORTH BUILDING ELEVATION  
 A201 | 1/4" = 1'-0"

**KEYNOTES**

02-01	REMOVE AND SALVAGE LIGHT POSTS.
02-02	REMOVE PORCH RAILINGS AND STAIR HANDRAILS.
02-03	REMOVE AND SALVAGE STONE STEPS. REMOVE ABANDONED CONCRETE SUPPORT FOR STEPS. REMOVE ABANDONED STORAGE BELOW STEPS.
02-06	DISMANTLE PIERS, INCLUDING CONCRETE BASES. SALVAGE BRICK.
02-07	DISMANTLE STAIR WALLS. SALVAGE BRICK AND STONE CAPS. CONCRETE FOUNDATION AND BASE TO REMAIN.
02-09	DEMOLISH WALL AND NOTIFY ARCHITECT. ARCHITECT TO INSPECT AREA BENEATH STAIRS BEFORE INFILLED.
02-10	INSTALL TEMPORARY SHORING AT PORCH ROOF AND DEMOLISH COLLARNS. SALVAGE STONE BASES FOR REINSTALLATION.
02-11	REMOVE STONE AT PORCH EDGE. REMOVE AND SALVAGE STONE BENEATH FOR REINSTALLATION.

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**2** DEMO SOUTH BUILDING ELEVATION  
 A201 | 1/4" = 1'-0"

**LEGEND**

	REMOVE/DISMANTLE
	DEMOLISH MASONRY, SALVAGE AS NOTED

CHARLES THOMPSON MEMORIAL HALL  
 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
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DEMOLITION  
 NORTH & SOUTH  
 BUILDING ELEV



**KEYNOTES**

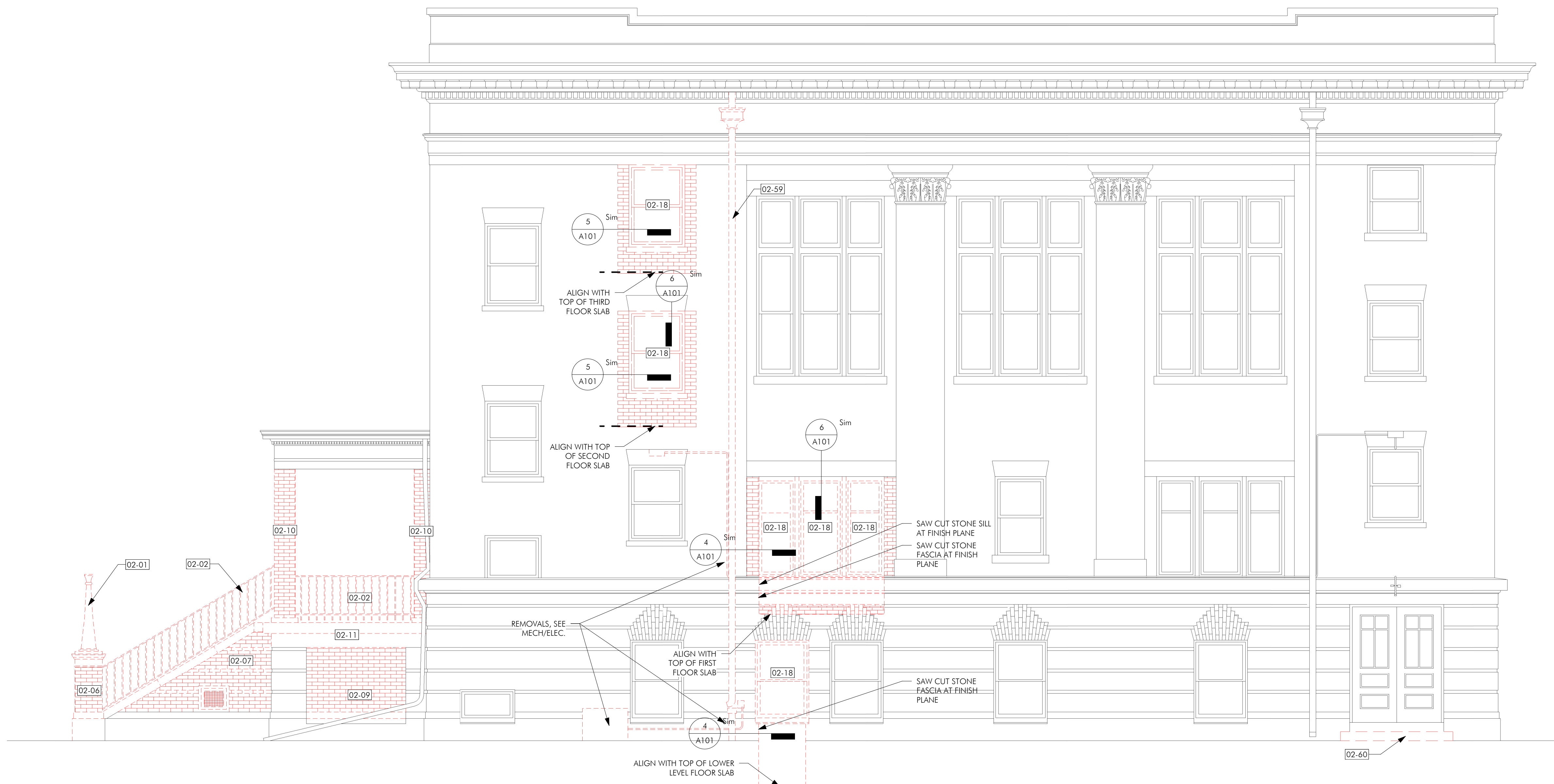
02-01	REMOVE AND SALVAGE LIGHT POSTS.
02-02	REMOVE PORCH RAILINGS AND STAIR HANDRAILS.
02-06	DISMANTLE PIERS, INCLUDING CONCRETE BASES. SALVAGE BRICK.
02-07	DISMANTLE STAIR WALLS. SALVAGE BRICK AND STONE CAPS. CONCRETE FOUNDATION AND BASE TO REMAIN.
02-09	DEMOLISH WALL AND NOTIFY ARCHITECT. ARCHITECT TO INSPECT AREA BENEATH STAIRS BEFORE INFILLED.
02-10	INSTALL TEMPORARY SHORING AT PORCH ROOF AND DEMOLISH COLUMNS. SALVAGE STONE BASES FOR REINSTALLATION.
02-11	REMOVE STONE AT PORCH EDGE. REMOVE AND SALVAGE STONE BENEATH FOR REINSTALLATION.
02-18	DISMANTLE WINDOW AND FRAME. SELECTIVELY REMOVE PORTION OF EXTERIOR BRICK WALL AND STONE SILL. SEE DEMOLITION DETAILS.
02-59	REMOVE DOWNSPOUT.
02-60	REMOVE EXISTING STONE STEP.
02-64	REMOVE EXISTING WINDOW AND FRAME.

**1 | DEMOLITION EAST BUILDING ELEVATION**  
 A202 | 1/4" = 1'-0"

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**LEGEND**

	REMOVE/DISMANTLE
	DEMOLISH MASONRY, SALVAGE AS NOTED

**2 | DEMOLITION WEST BUILDING ELEVATION**  
 A202 | 1/4" = 1'-0"

CHARLES THOMPSON MEMORIAL HALL  
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 DRAWN BY: [Name] DATE: 04-30-2021

DEMOLITION EAST & WEST BUILDING ELEVATION



SHEET NOTES  
 1. ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.  
 2. REFER TO LEGEND FOR AREA SPECIFIC MASONRY WORK.



**KEYNOTES**

04-07	REPAIR CRACK/HOLE IN CONCRETE/MASONRY.
07-01	REPAIR DOWNSPOUTS.
08-05	INSTALL ALUMINUM SIMULATED DOUBLE HUNG WINDOW. INSTALL LAMINATED GLASS. PAINT BACK OF GLAZING BACK PRIOR TO INSTALLATION. BASIS OF DESIGN: SCV 564 FIXED SIMULATED HUNG. SEE WINDOW SCHEDULE.
09-03	SCRAPE AND REPAINT WOOD TRIM AND CORNICE OF BOW WINDOW EXTERIOR.
09-04	REMOVE LOOSE PAINT AND REPAINT EXISTING FLASHING.
09-05	PAINT METAL CORNICE AND PARAPET CAP.

1 NORTH CONSTRUCTION BUILDING  
 ELEVATION  
 A251 1/4" = 1'-0"



**LEGEND**

[Pattern]	RECONSTRUCT BRICK MASONRY
[Pattern]	25% REPOINT
[Pattern]	50% REPOINT
[Pattern]	100% REPOINT
[Pattern]	CLEAN BRICK MASONRY
[Pattern]	CLEAN STONE, REPOINT/SEAL JOINTS
[Pattern]	REPAIR CHIPPED STONE
[Pattern]	REPOINT/SEAL JOINTS AT STONE
[Pattern]	CONCRETE
[Pattern]	REPLACE HISTORIC STONE
[Pattern]	REPAIR CRACK/HOLE IN CONCRETE/MASONRY

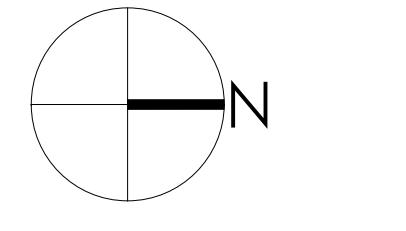
2 EAST CONSTRUCTION BUILDING  
 ELEVATION  
 A251 1/4" = 1'-0"

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**REVISIONS**

No.	Description	Date

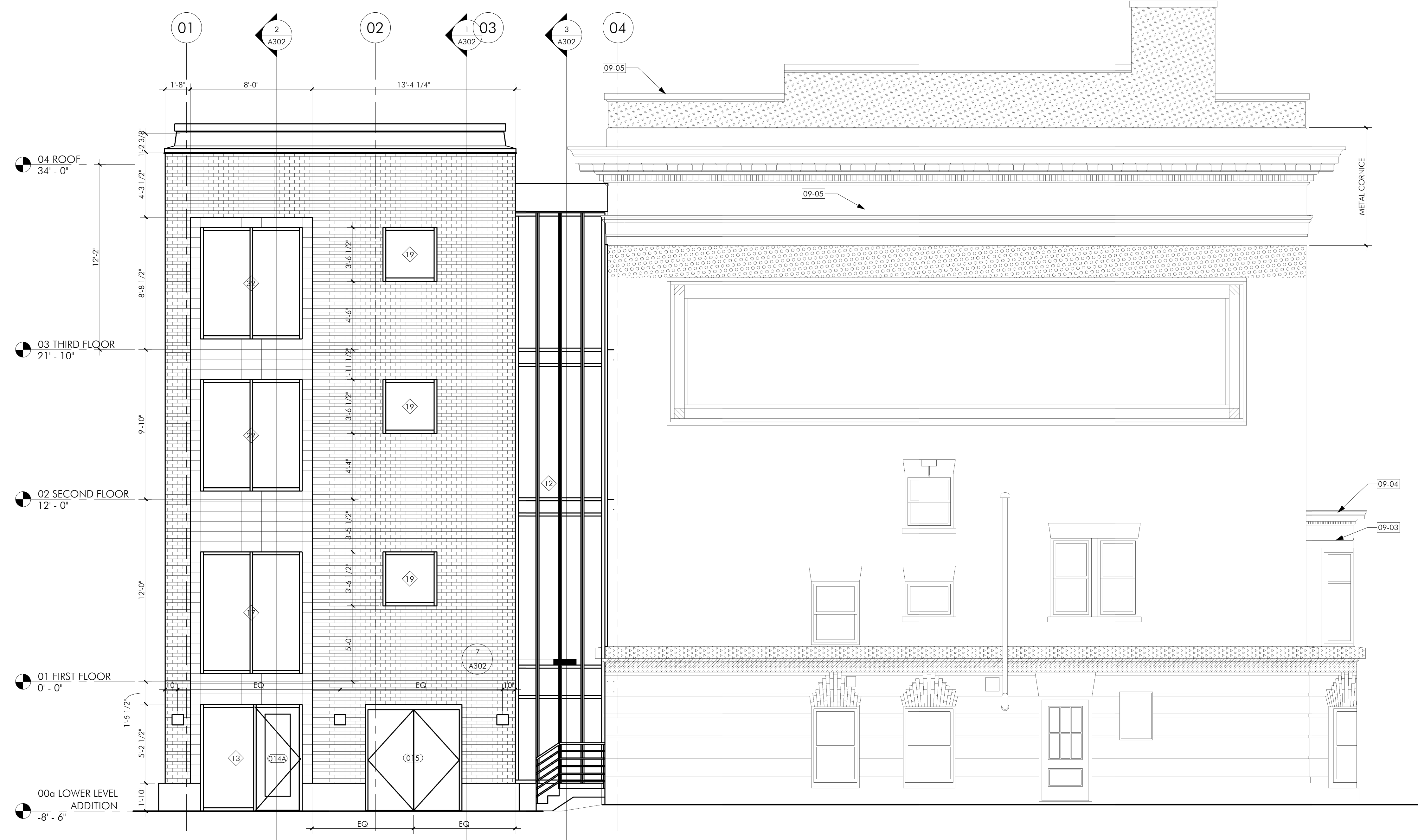
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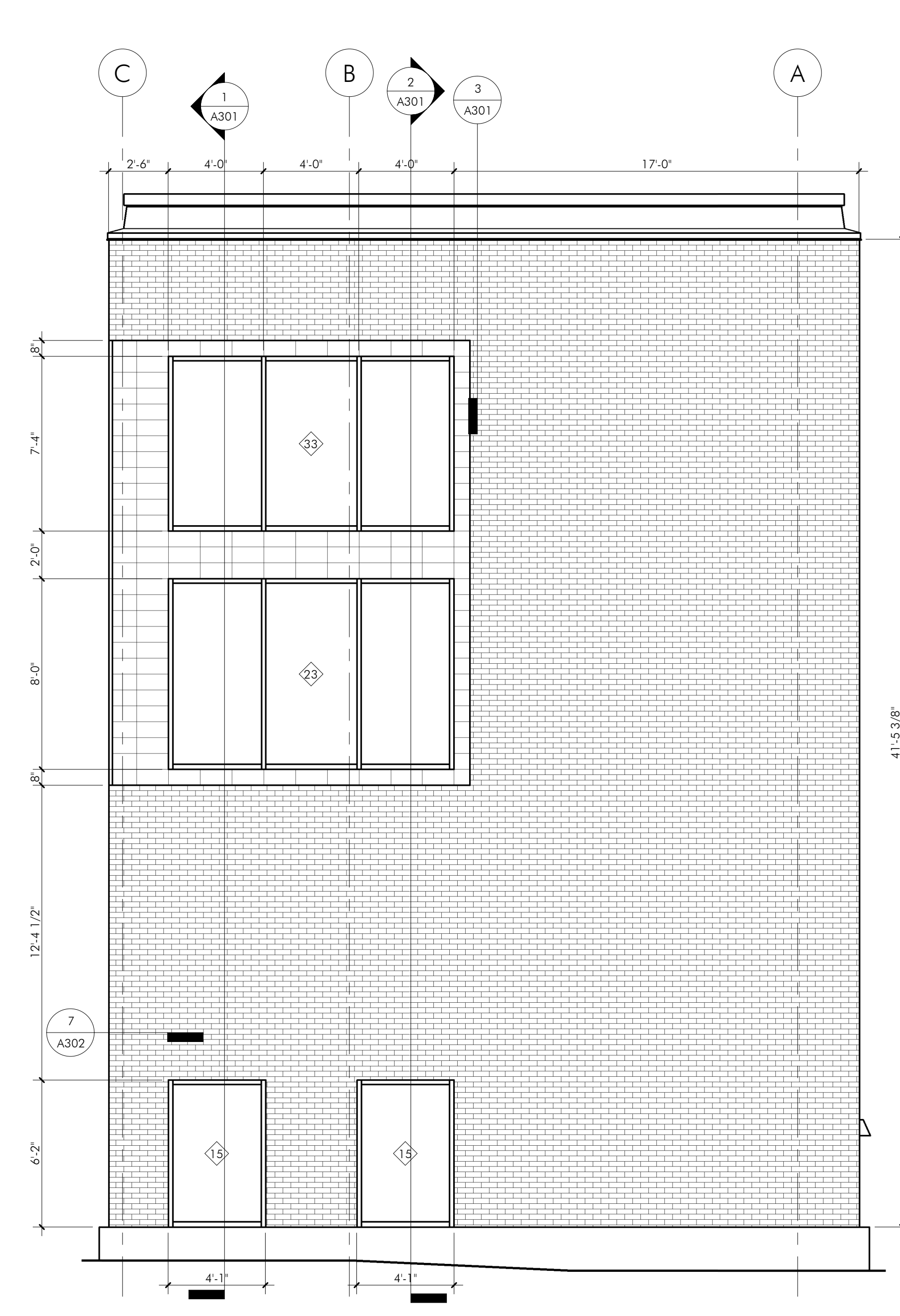
**CHARLES THOMPSON MEMORIAL HALL**  
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 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY: [Signature] DATE: 04.30.2021

CONSTRUCTION BUILDING ELEVATIONS

1. ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.
2. REFER TO LEGEND FOR AREA SPECIFIC MASONRY WORK.



1 SOUTH CONSTRUCTION BUILDING  
 ELEVATION  
 A252 1/4" = 1'-0"



3 WEST CONSTRUCTION ADDITION  
 BUILDING ELEVATION  
 A252 1/4" = 1'-0"

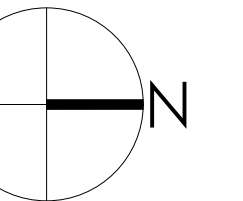
KEYNOTES

06-07	REPAIR AND PAINT SALVAGED WOOD FRAME AND INSTALL NEW PAINTED PLYWOOD PANEL IN PLACE OF MESH. REINSTALL.
06-08	REPAIR LOWER PORTION OF CORNICE. REPAINT.
09-03	SCRAPE AND REPAIR WOOD TRIM AND CORNICE OF BOW WINDOW EXTERIOR.
09-04	REMOVE LOOSE PAINT AND REPAINT EXISTING FLASHING.
09-05	PAINT METAL CORNICE AND PARAPET CAP.

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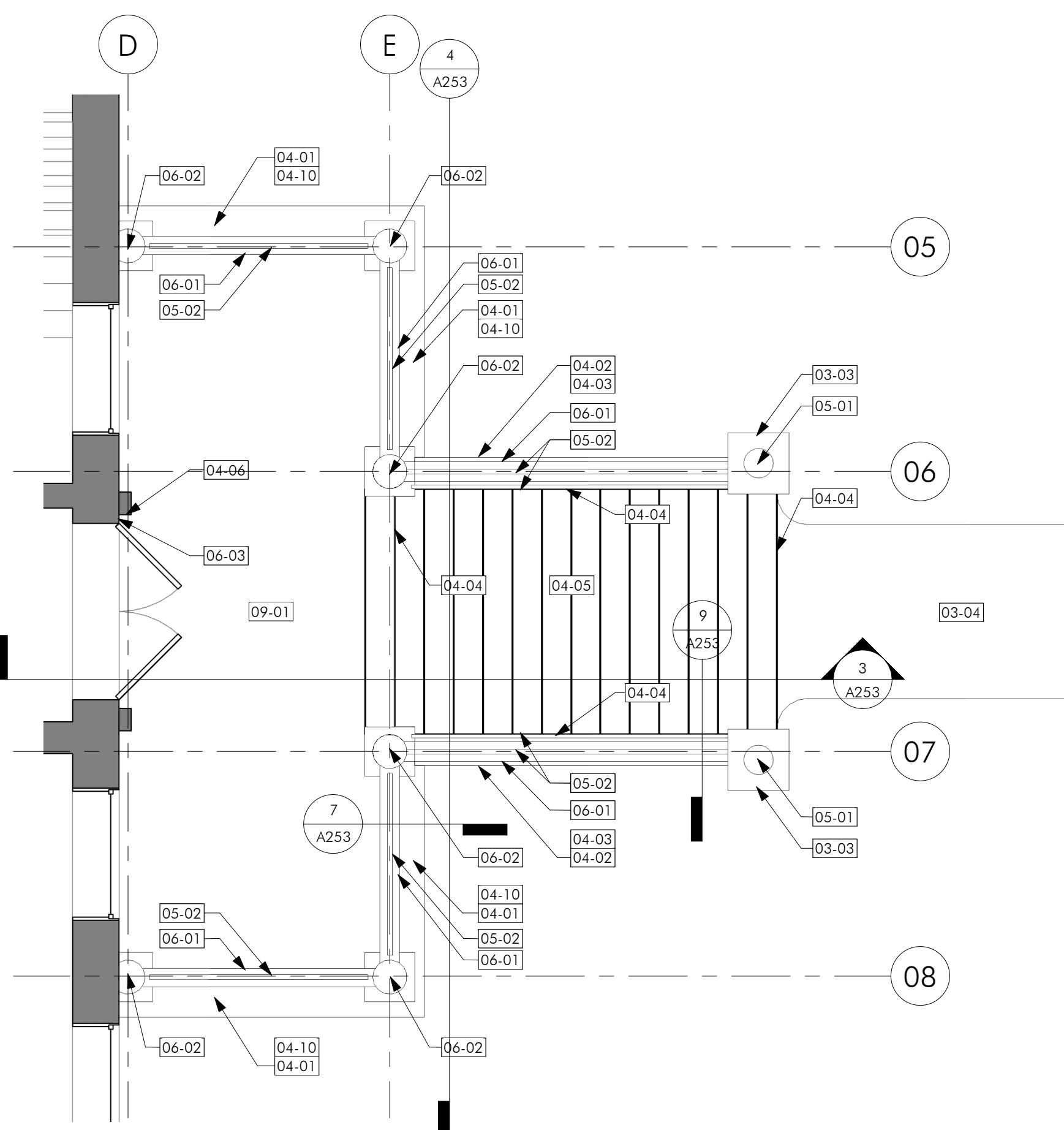
2 WEST CONSTRUCTION BUILDING  
 ELEVATION  
 A252 1/4" = 1'-0"

LEGEND

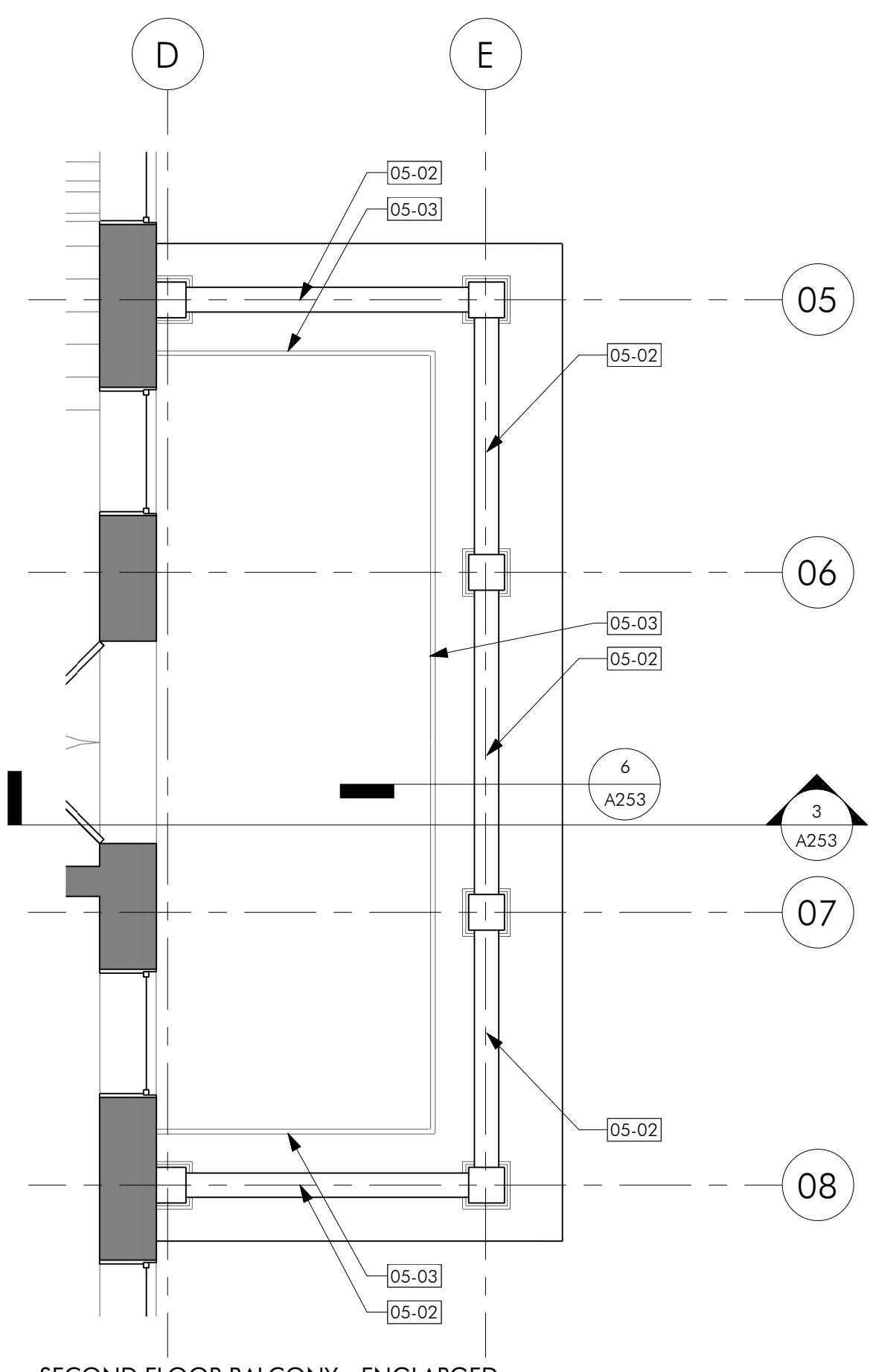
[Pattern]	RECONSTRUCT BRICK MASONRY
[Pattern]	25% REPOINT
[Pattern]	50% REPOINT
[Pattern]	100% REPOINT
[Pattern]	CLEAN BRICK MASONRY
[Pattern]	CLEAN STONE, REPOINT/SEAL JOINTS
[Pattern]	REPAIR CHIPPED STONE
[Pattern]	REPOINT/SEAL JOINTS AT STONE
[Pattern]	CONCRETE
[Pattern]	REPLACE HISTORIC STONE
[Pattern]	REPAIR CRACK/HOLE IN CONCRETE/MASONRY

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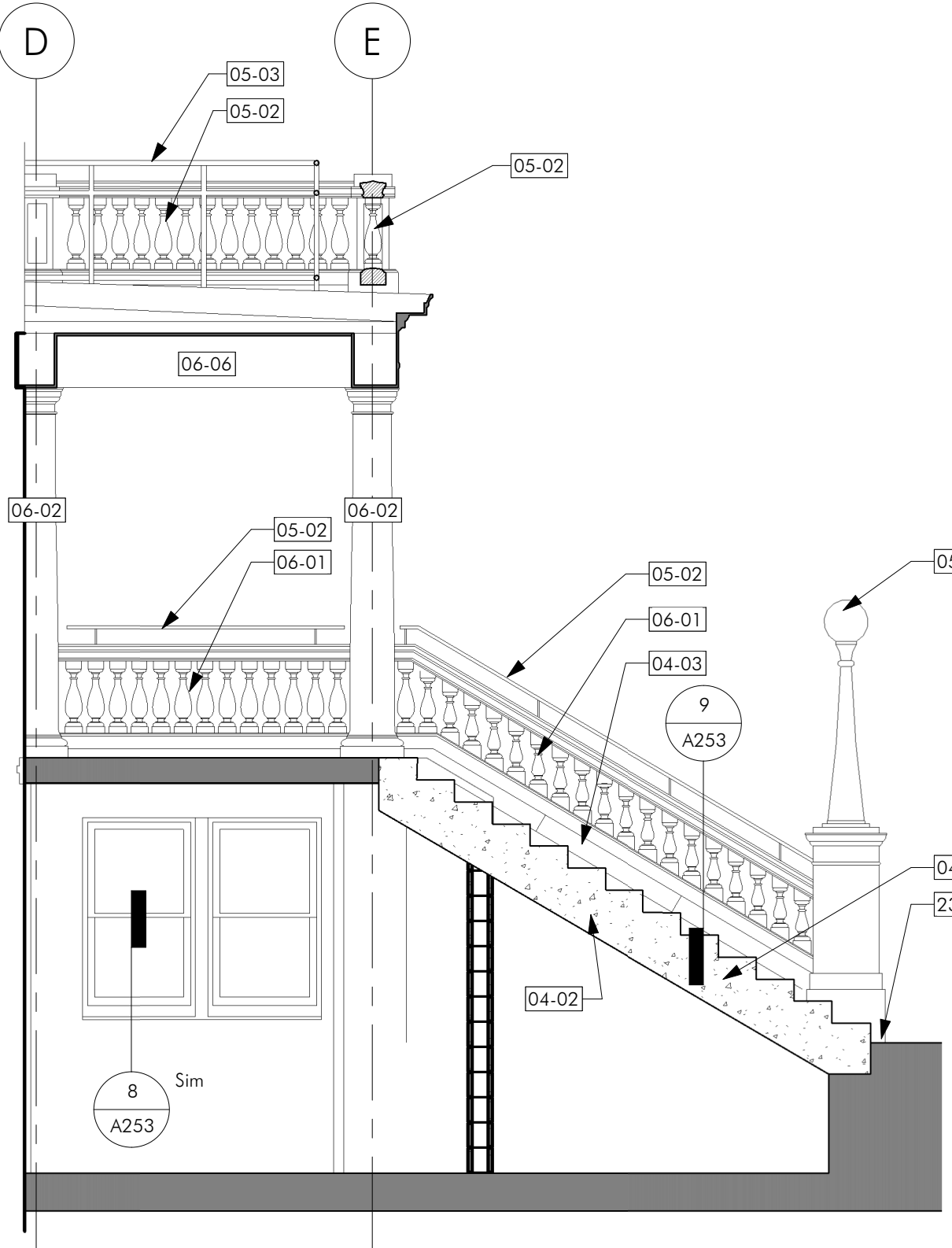
CONSTRUCTION  
 BUILDING  
 ELEVATIONS



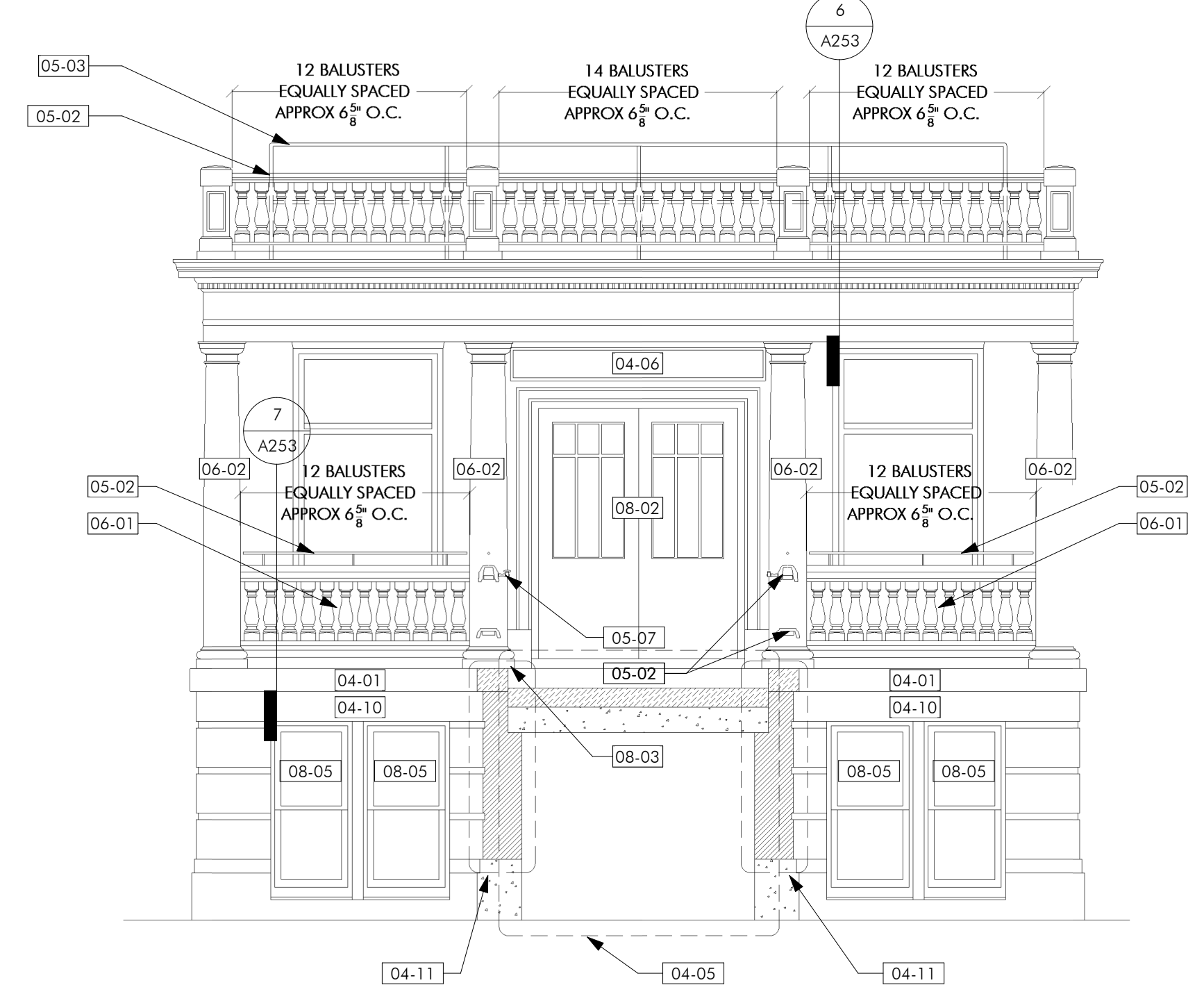
1 FIRST FLOOR PORCH - ENLARGED PLAN  
A253 1/4" = 1'-0"



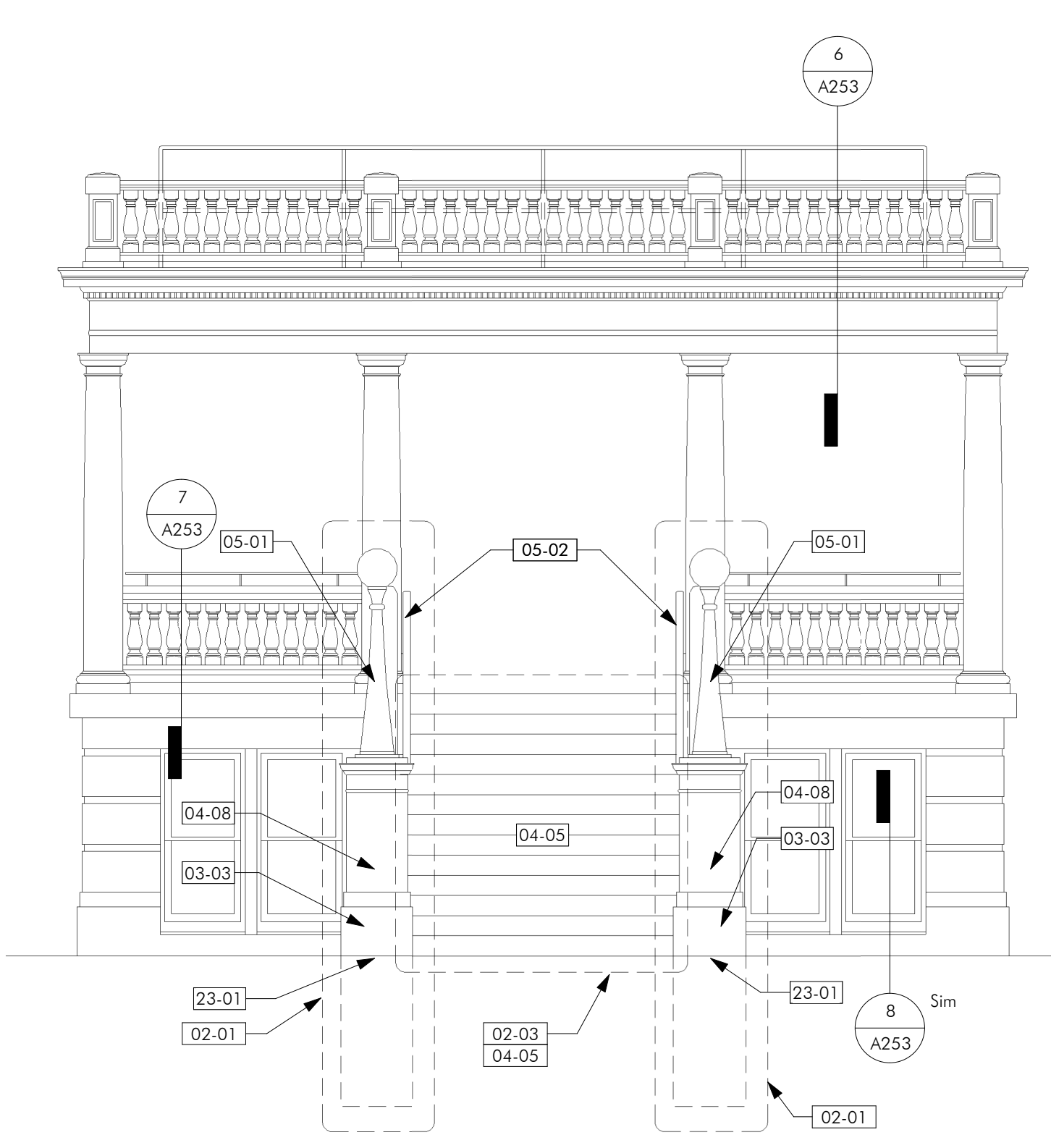
2 SECOND FLOOR BALCONY - ENLARGED PLAN  
A253 1/4" = 1'-0"



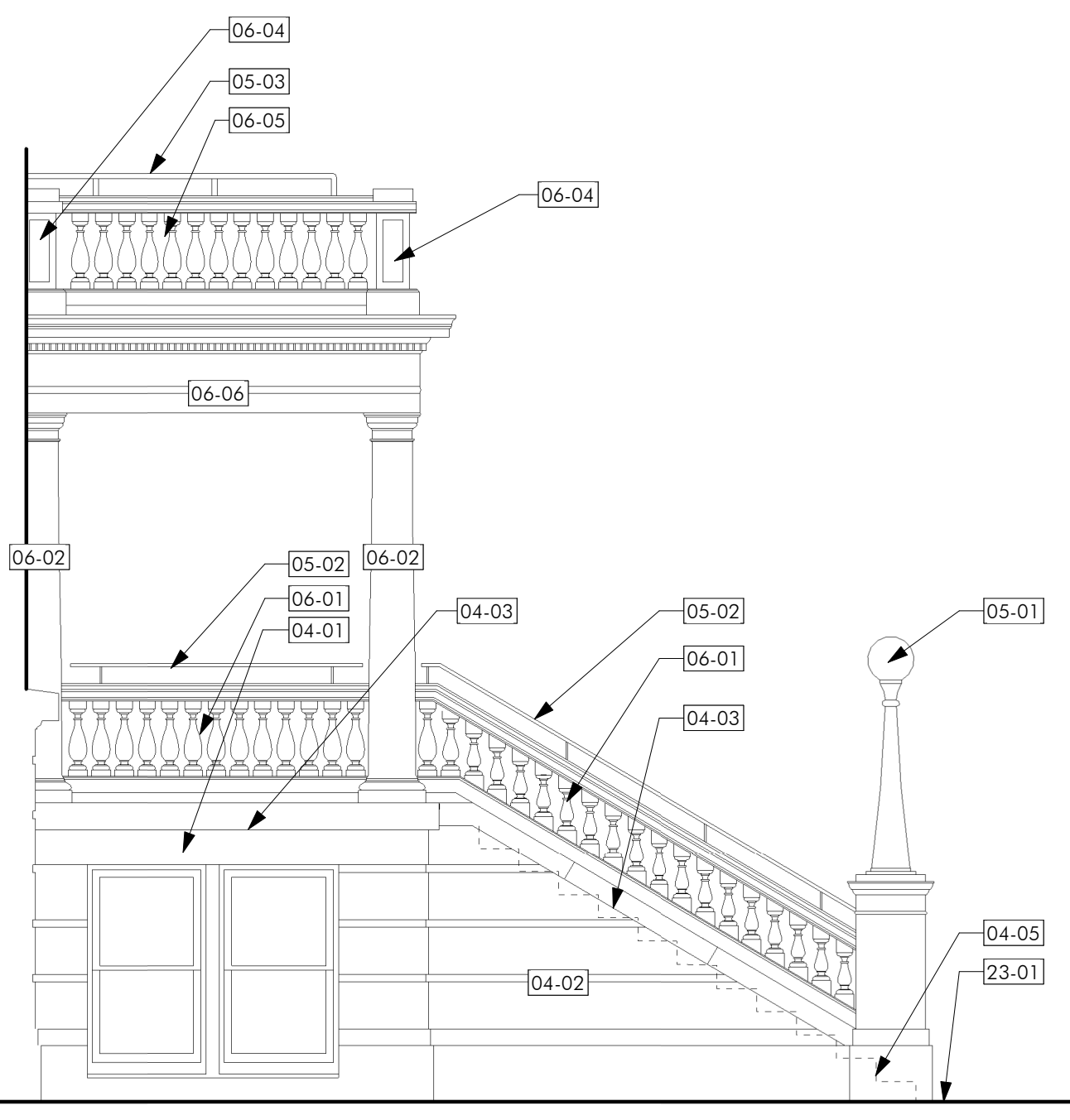
3 PORCH - SECTION  
A253 1/4" = 1'-0"



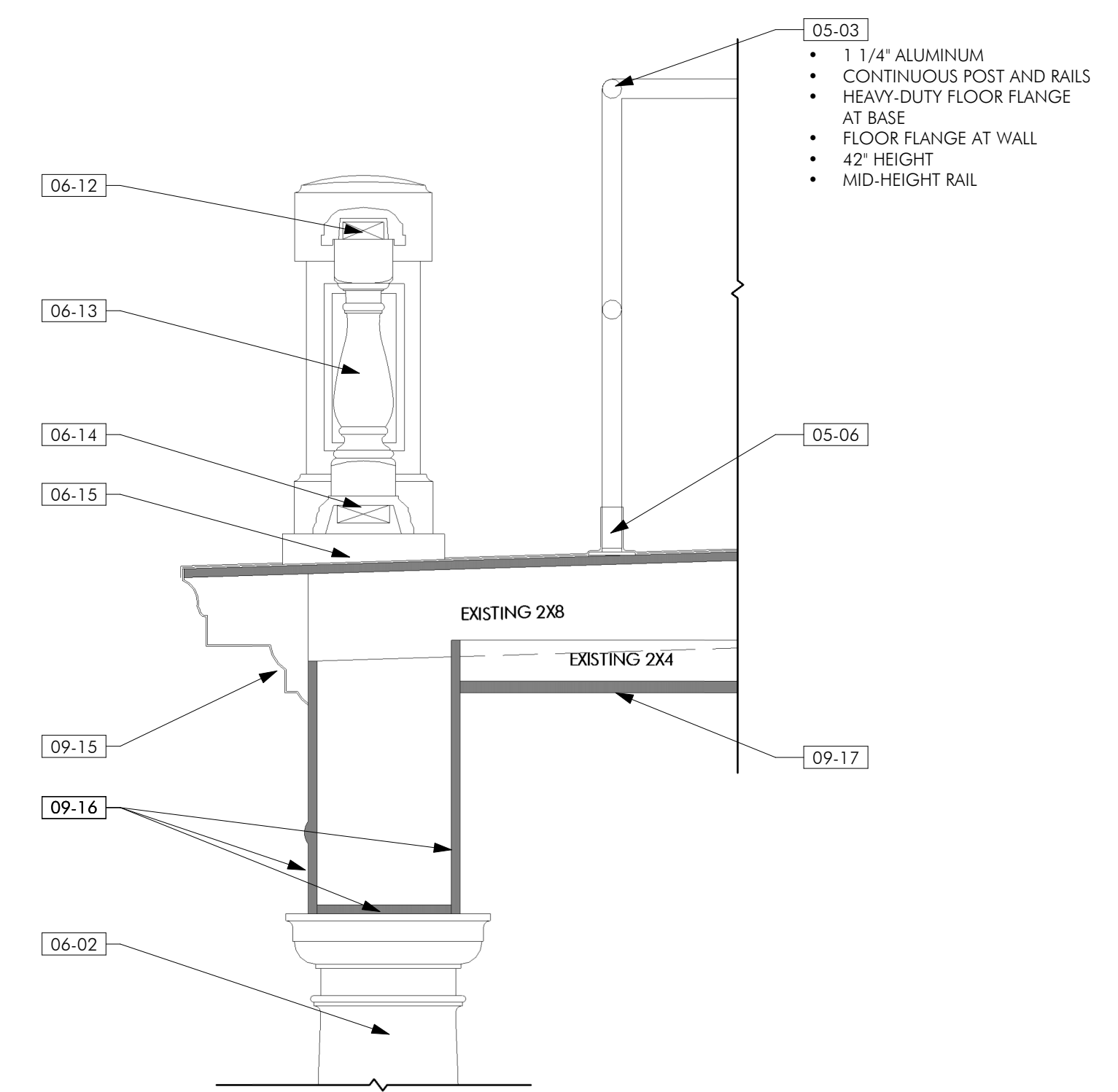
4 PORCH - NORTH SECTION  
A253 1/4" = 1'-0"



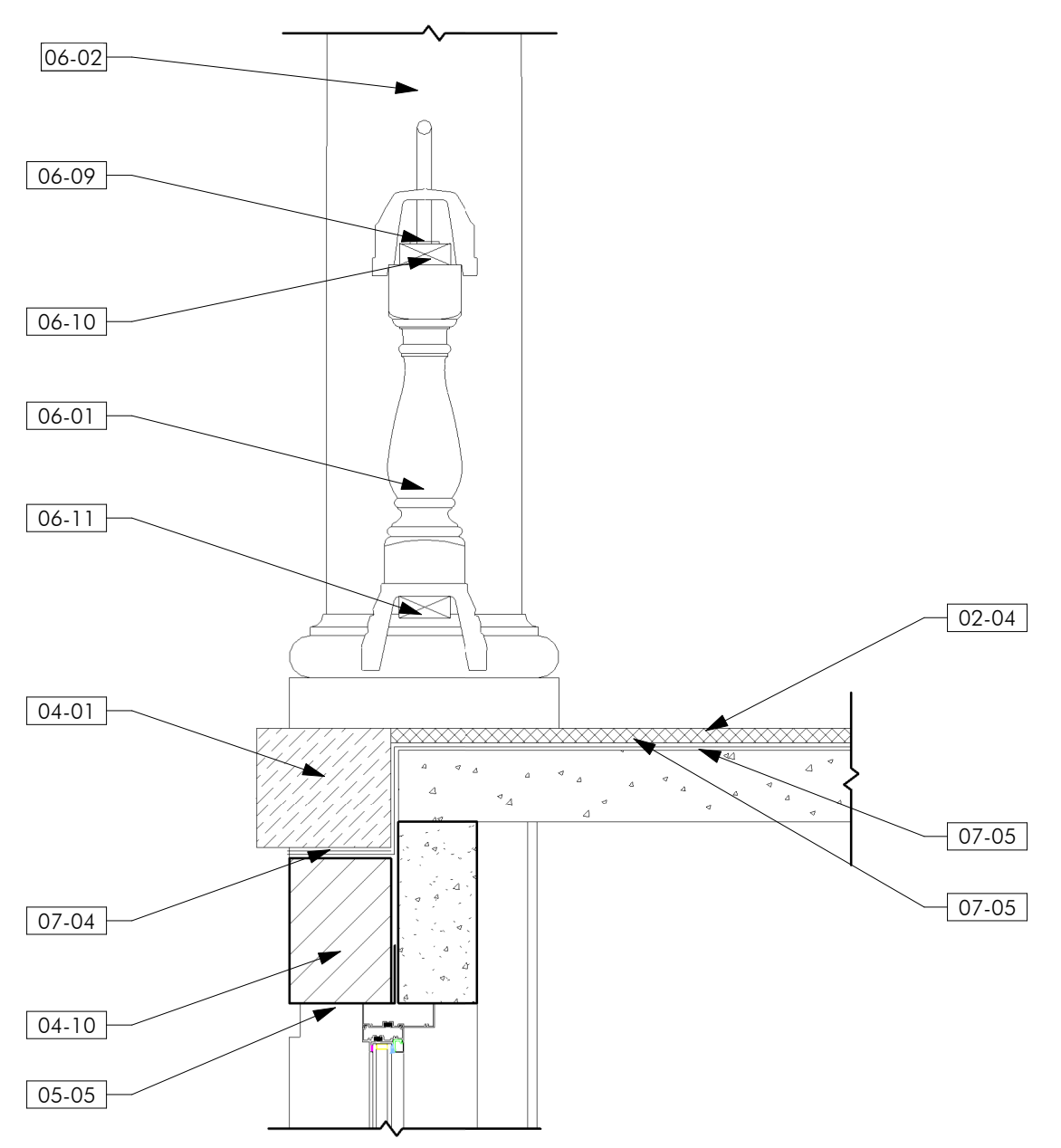
5 PORCH - NORTH CONSTR ELEVATION  
A253 1/4" = 1'-0"



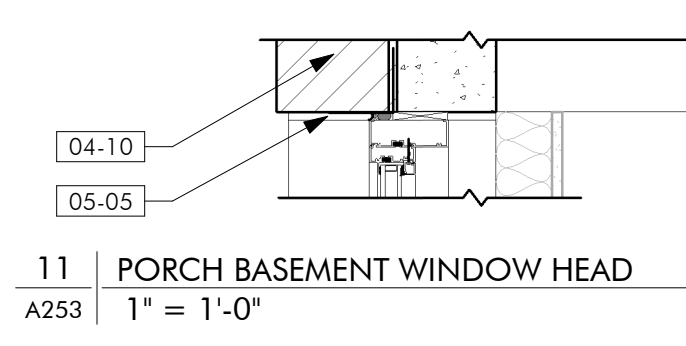
10 PORCH - EAST/WEST CONSTR ELEVATION  
A253 1/4" = 1'-0"



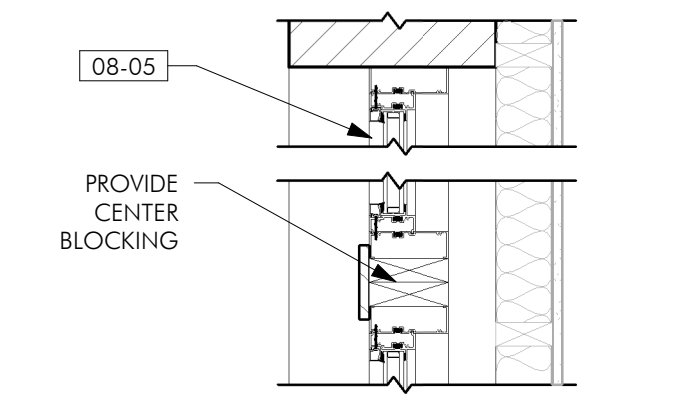
6 BALUSTRADE/GUARDRAIL SECTION AT BALCONY  
A253 1" = 1'-0"



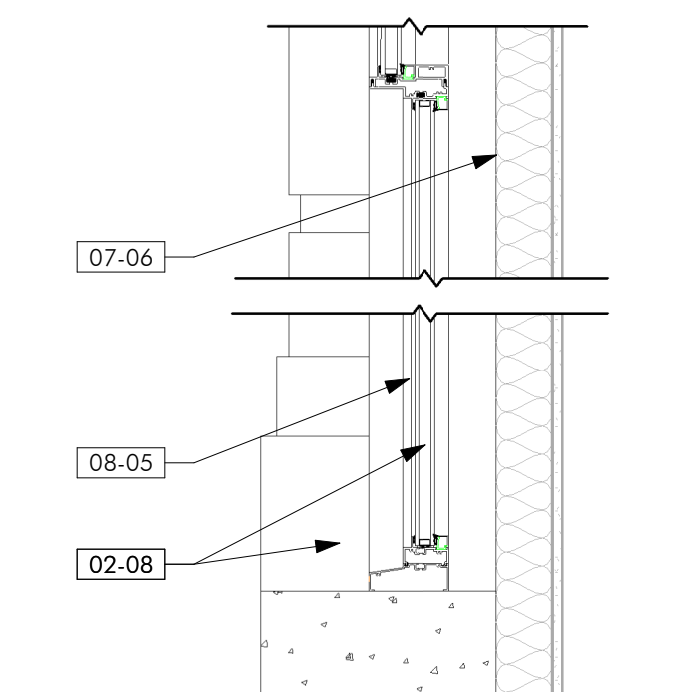
7 BALUSTRADE/GUARDRAIL AT PORCH  
A253 1" = 1'-0"



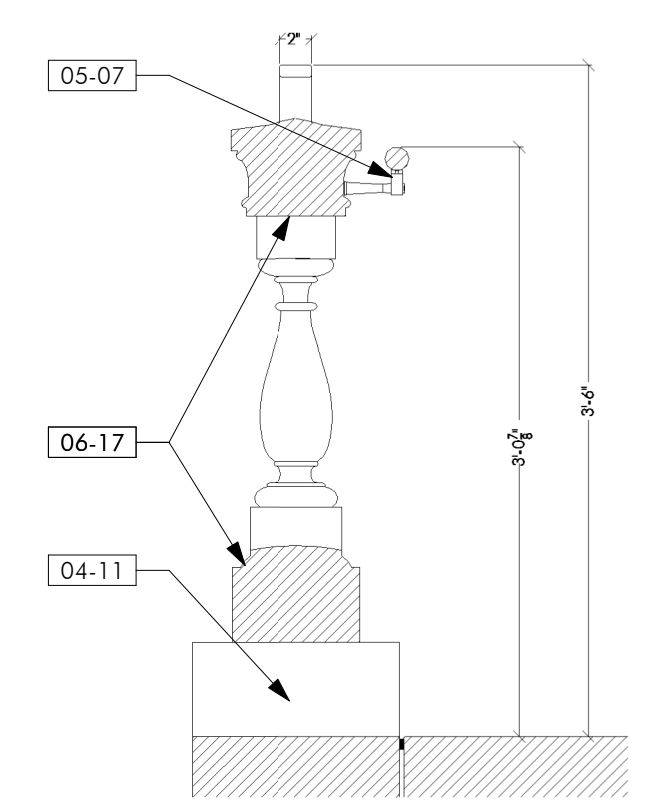
11 PORCH BASEMENT WINDOW HEAD  
A253 1" = 1'-0"



12 PORCH BASEMENT WINDOW JAMB - PLAN  
A253 1" = 1'-0"



8 PORCH BASEMENT WINDOW SILL - SECTION  
A253 1" = 1'-0"



9 HANDRAIL SECTION AT STAIR  
A253 1" = 1'-0"

SHEET NOTES

1. ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.
2. REFER TO LEGEND FOR AREA SPECIFIC MASONRY WORK.

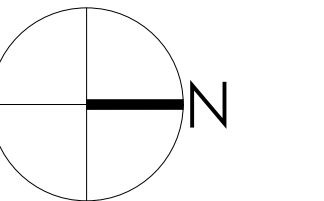
KEYNOTES

02-01	REMOVE AND SALVAGE LIGHT POSTS.
02-03	REMOVE AND SALVAGE STONE STEPS. REMOVE CONCRETE SUPPORT FOR STEPS. REMOVE ABANDONED STORAGE BELOW STEPS.
02-04	REMOVE EXISTING CLAY TILE FLOOR AND SETTING BED. CLEAN CONCRETE PORCH DECK AND REPAIR DEFECTS. INSTALL NEW CLAY TILE FLOOR. SLOPE TO PERIMETER.
02-08	REMOVE EXISTING BRICK/CMU/CONCRETE INFILL IN PORCH OPENINGS AND PREPARE FOR NEW WINDOW INSTALLATION. TAKE CARE NOT TO DAMAGE ORIGINAL SURROUNDING MASONRY AND CONCRETE. DO NOT DISTURB INTERIOR WALL FINISH CONSTRUCTION (GWB, WOOD FRAMING, AND INSULATION).
03-03	POUR CONCRETE FOOTINGS AND PIER BASE ON CONCRETE FOUNDATION.
03-04	RECONSTRUCT CONCRETE SIDEWALK. SEE CIVIL.
04-01	DISMANTLE STONE BAND WITH PORCH FLOOR REMOVAL. REMOVE PAINT. REPAIR HOLES AND SPALLS. REINSTALL WITH ANCHORS TO CONCRETE FLOOR/WALL AND ENSURE DRIP EDGE IS PROPERLY PLACED AT EDGE.
04-02	REBUILD STAIR WALLS USING SALVAGED BRICK WHERE NECESSARY. INSTALL REPLACEMENT STONE CAPS TO MATCH ORIGINAL.
04-03	REPLACE STONE AT STAIRS AND TOP BAND AT PORCH. PAINT (DO NOT PAINT STEPS).
04-04	INSTALL FLEXIBLE JOINT.
04-05	FILL AND REBUILD CONCRETE SUPPORT BEFORE REINSTALLING STONE STEPS. REINSTALL STEPS.
04-06	CLEAN STONE AROUND DOOR AND THRESHOLD.
04-08	REBUILD PIER AND STONE CAP.
04-10	DISMANTLE STONE BAND WITH PORCH FLOOR REMOVAL. REPAIR HOLES AND SPALLS IN STONE. REINSTALL WITH VEEB HOLES AT BOTTOM COURSE. SEE 04-02/03.
04-11	DISMANTLE AND REBUILD STONE STRINGER AND TOP COURSES OF BRICK. REMOVE PAINT FROM STONE AND PATCH SPALLS.
05-01	REHABILITATE AND RESTORE LAMPS. PAINT METAL AND PROVIDE NEW GLOBES TO MATCH EXISTING. SEE 4-A253.
05-02	PROVIDE CHADSWORTH AND GUARD RAIL SYSTEM, SEE 3-A253.
05-03	INSTALL BALCONY GUARDRAIL, JULIUS BLUM CONNECTION RAIL SYSTEM @ 42" WITH MID-HEIGHT RAIL.
05-05	CLEAN AND PAINT STEEL ANGLE.
05-06	INSTALL FLOOR FLANGE DIRECTLY TO SHEATHING, SEAL INSTALL EPDM POST SLEEVE OVER FLOOR FLANGE AND SECURE TO BASE OF RAIL.
05-07	PROVIDE JULIUS BLUM 309 RAIL SUPPORT AND 6901 HANDRAIL @ 35" FROM STAIR NOSING.
06-01	CHADSWORTH WILLIAMSBURG 18 BALUSTER.
06-02	INSTALL CHADSWORTH FULL ROUND 1 1/4" TUSCAN COLUMN AND REINSTALL SALVAGED BASES.
06-03	REPAIR WOOD DOOR TRIM. PAINT. SEE DOOR SCHEDULE FOR DOOR REPAIRS.
06-04	INSTALL BALCONY RAILING POST.
06-05	INSTALL BALCONY BALUSTRADE.
06-06	REPAIR WOOD ENTABLATURE, INCLUDING CORNICE, INSIDE OF FRIEZE, AND ARCHITRAVE, WITH CONSOLIDANT. PAINT.
06-09	PROVIDE STAINLESS STEEL ANCHOR, BRACKET, AND GUARD. CONNECT ANCHOR TO 2X SUPPORT. PAINT.
06-10	PROVIDE CHADSWORTH TOP RAIL T300. PROVIDE 2X SUPPORT ACROSS BOTTOM OF RAIL.
06-11	PROVIDE CHADSWORTH BOTTOM RAIL B301. PROVIDE 2X SUPPORT ACROSS BOTTOM OF RAIL.
06-12	PROVIDE CHADSWORTH TOP RAIL T200. PROVIDE 2X SUPPORT ACROSS BOTTOM OF RAIL.
06-13	PROVIDE CHADSWORTH WILLIAMSBURG 18 BALUSTER.
06-14	PROVIDE CHADSWORTH BOTTOM RAIL B201. PROVIDE 2X SUPPORT ACROSS BOTTOM OF RAIL.
06-15	PROVIDE PLINTH BASE TO SECURE TO ROOF. INSTALL FLASHING.
06-17	PROVIDE CHADSWORTH AND GUARD RAIL STAIR SYSTEM, SEE 3-A253.
07-04	EXTEND HYDROTECH DRAIN BOARD /FLASHING AND INSTALL WEEPS IN MORTAR BED.
07-05	INSTALL HYDROTECH HYDRODRAIN 900 AND HYDROTECH FLASHINGS ON CONCRETE DECK AND EXTEND VERTICALLY TO LOWER STONE COPING.
07-06	INSTALL AIR BARRIER AT EXTERIOR EXISTING WALL CONSTRUCTION IN WINDOW OPENINGS.
08-02	STRIP DOORS, INCLUDING WOOD TRIM. REPLACE HARDWARE. PATCH BOTTOM OF DOORS WHERE HARDWARE WAS REMOVED. REPAINT. SEE DOOR SCHEDULE.
08-03	INSTALL PERMANENT DOOR STOP. SEE DOOR SCHEDULE.
08-05	INSTALL ALUMINUM SIMULATED DOUBLE HUNG WINDOW. INSTALL LAMINATED GLASS. PAINT BACK OF GLAZING BLACK PRIOR TO INSTALLATION. BASIS OF DESIGN: SCV 864 FRIED SIMULATED HUNG. SEE WINDOW SCHEDULE.
09-01	INSTALL NEW CLAY TILE FLOOR ATOP HYDROTECH SYSTEM. SLOPE TO PERIMETER.
09-15	SCRAPE LOOSE PAINT. REPAINT.
09-16	SCRAPE LOOSE PAINT. REPAIR WOOD AT DAMAGE FROM HARDWARE POST REMOVAL. REPAINT.
09-17	CLEAN BEADBOARD CEILING WITH MILD DETERGENT. RESEAL.
23-01	REGRADE DISTURBED AREA AROUND BOTTOM OF STAIRS AND PIERS. REPLACE SOD.

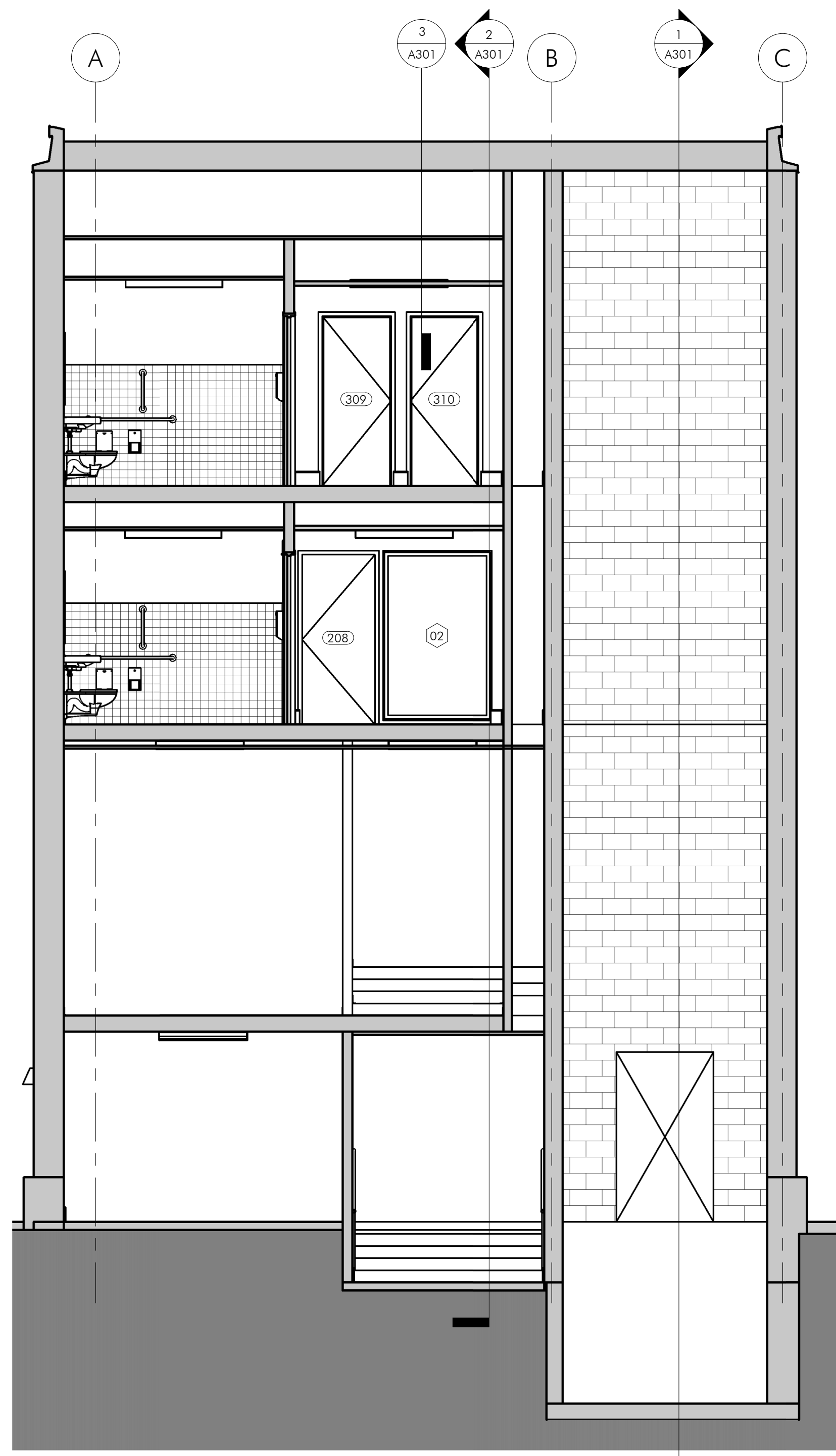
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

REVISIONS	
No.	Description

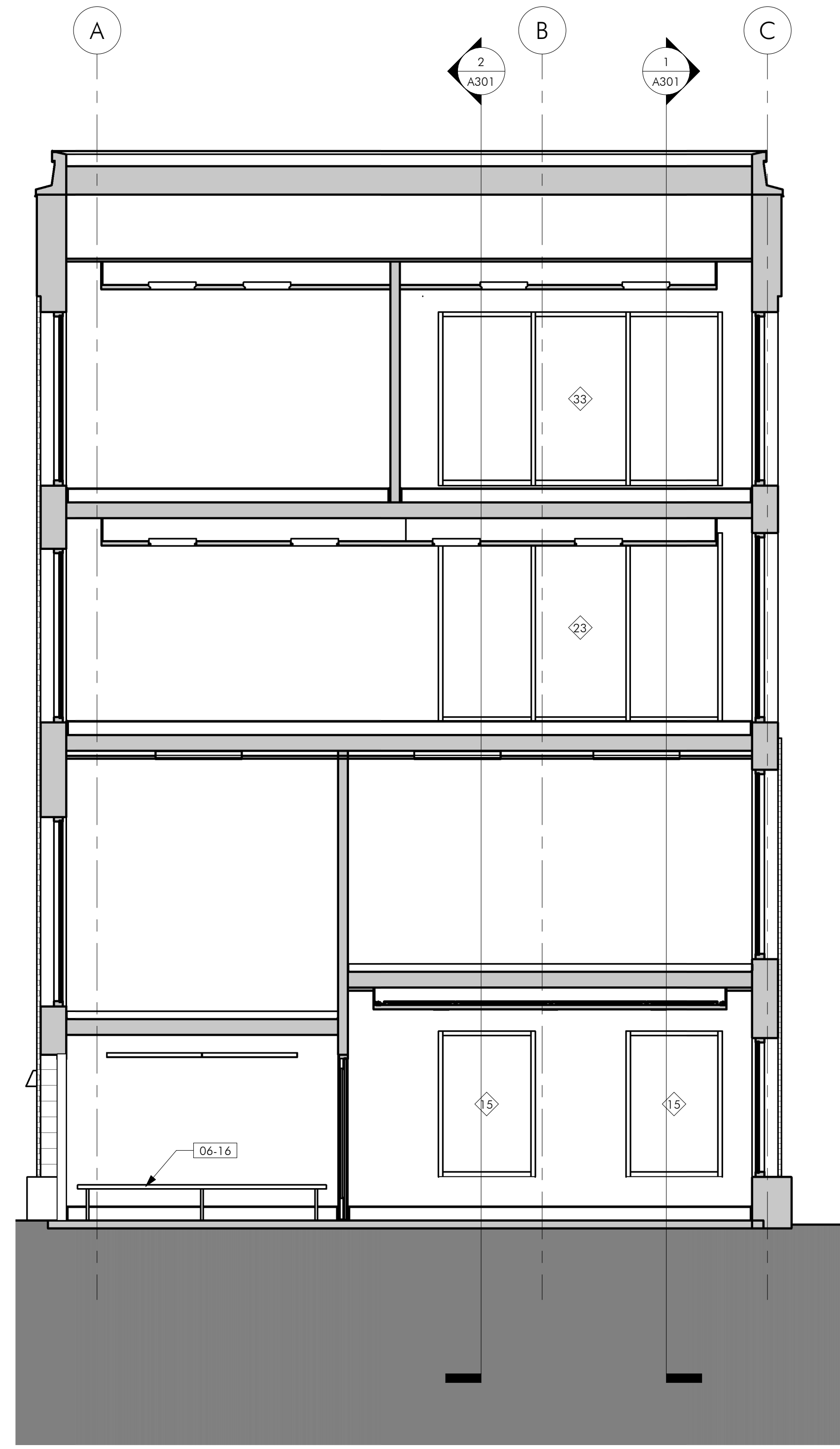
90% Legacy Grant Review







1 | ADDITION SECTION - NORTH/SOUTH 02  
 A302 | 1/4" = 1'-0"



2 | ADDITION SECTION - NORTH/SOUTH 03  
 A302 | 1/4" = 1'-0"

04 ROOF  
 34' - 0"

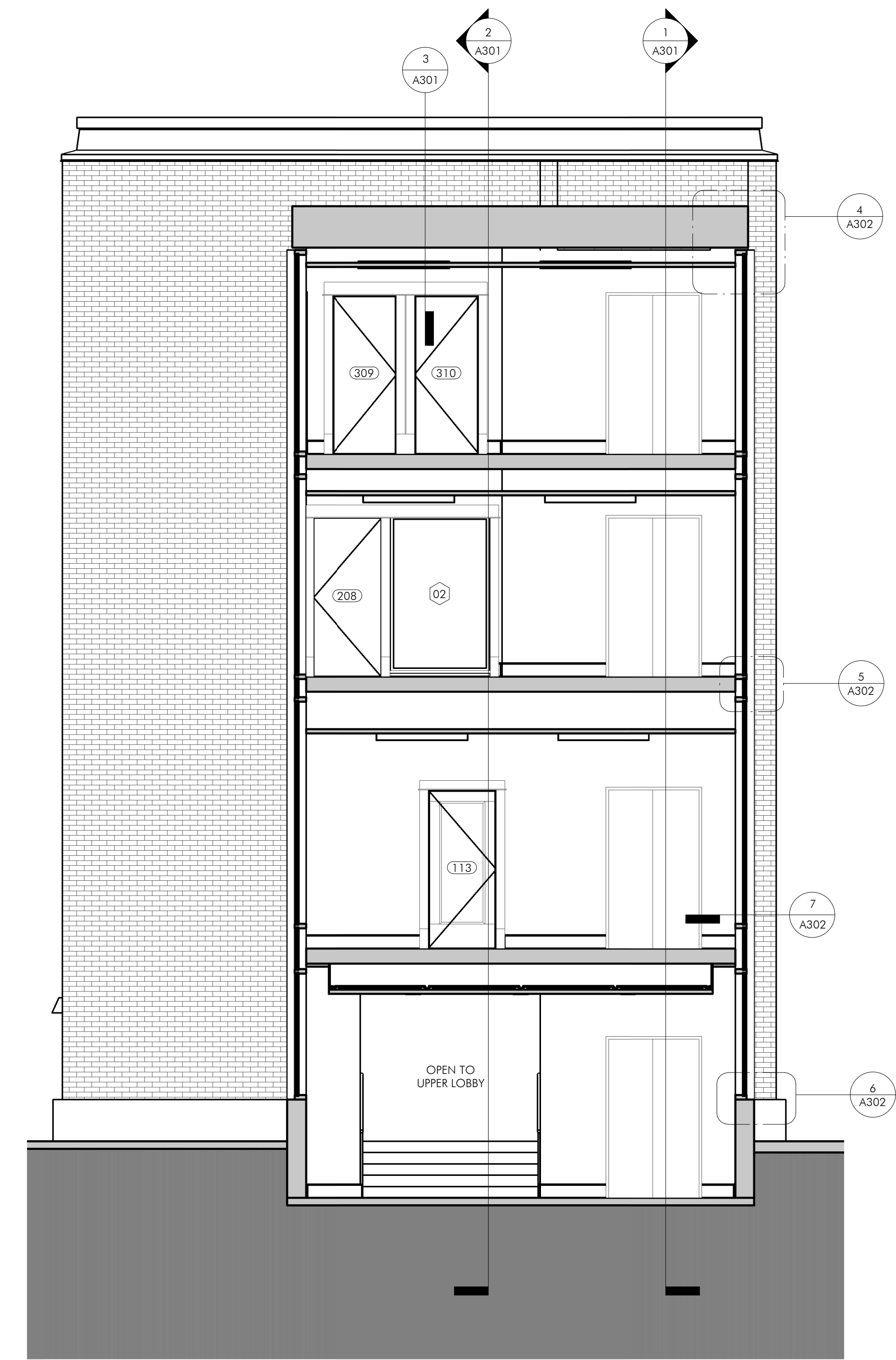
03 THIRD FLOOR  
 21' - 10"

02 SECOND FLOOR  
 12' - 0"

01 FIRST FLOOR  
 0' - 0"

00a LOWER LEVEL  
 ADDITION  
 -8' - 6"

00 LOWER LEVEL  
 -11' - 0"



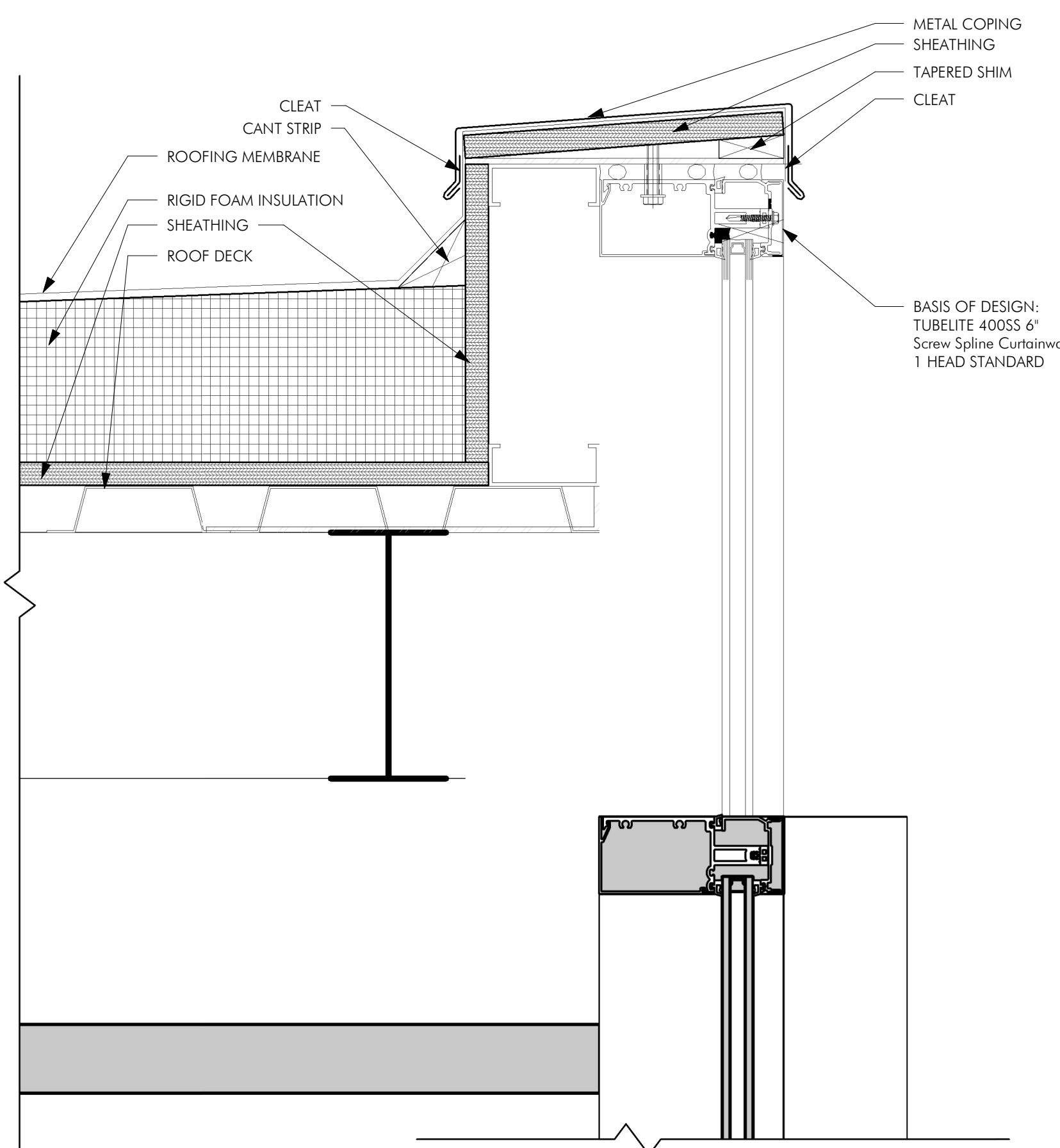
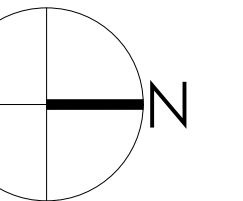
3 | ADDITION SECTION - NORTH/SOUTH 01  
 A302 | 1/4" = 1'-0"

KEYNOTES

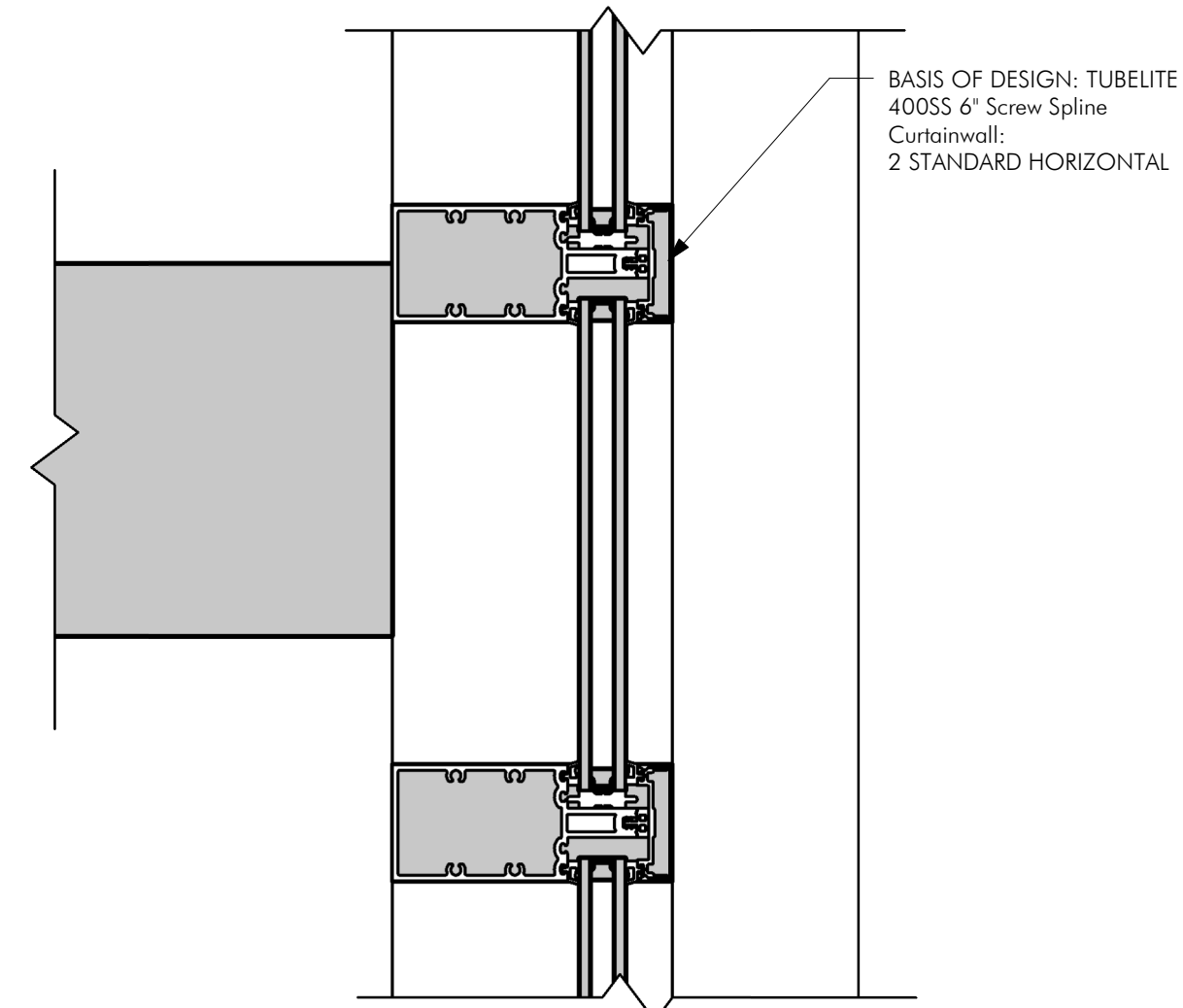
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REVISIONS		
No.	Description	Date

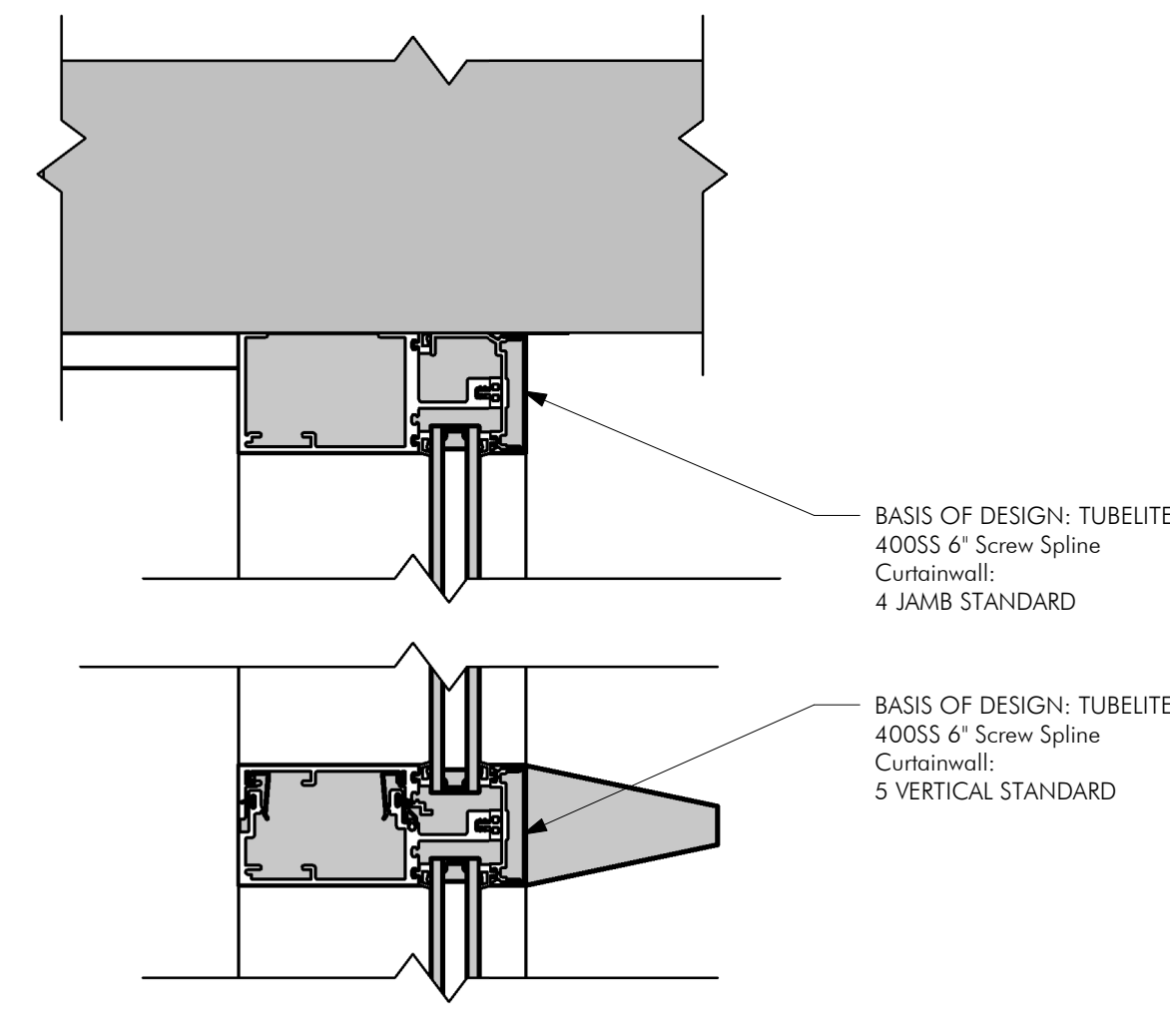
90% Legacy Grant Review



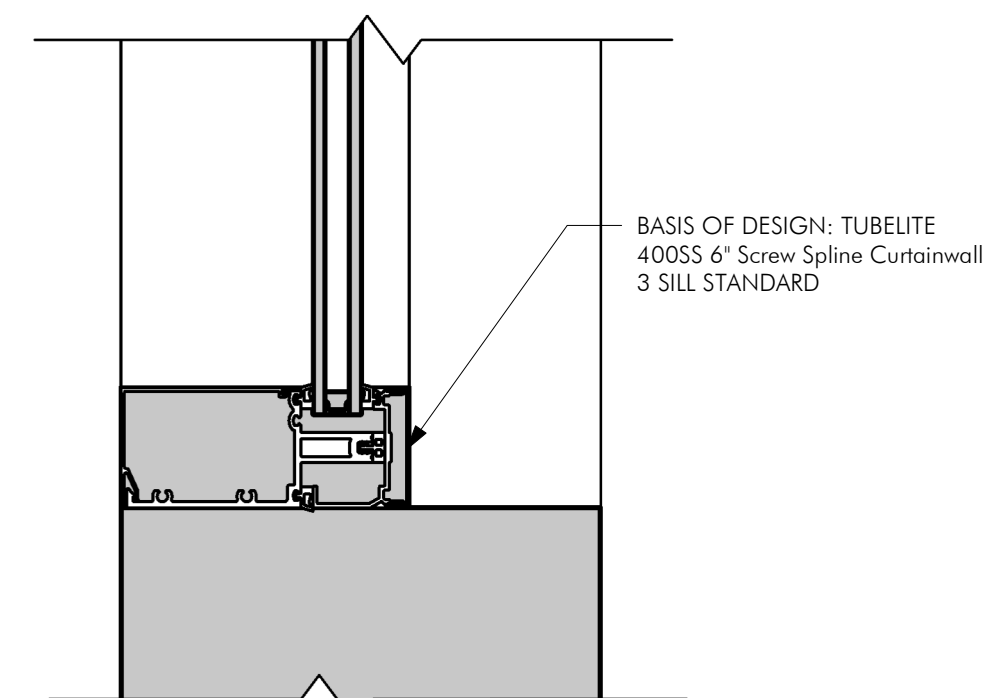
4 | LINK PARAPET - SECTION  
 A302 | 3" = 1'-0"



5 | CURTAINWALL HORIZONTAL - SECTION  
 A302 | 3" = 1'-0"



7 | CURTAINWALL VERTICAL - PLAN  
 A302 | 3" = 1'-0"



6 | CURTAINWALL SILL - SECTION  
 A302 | 3" = 1'-0"

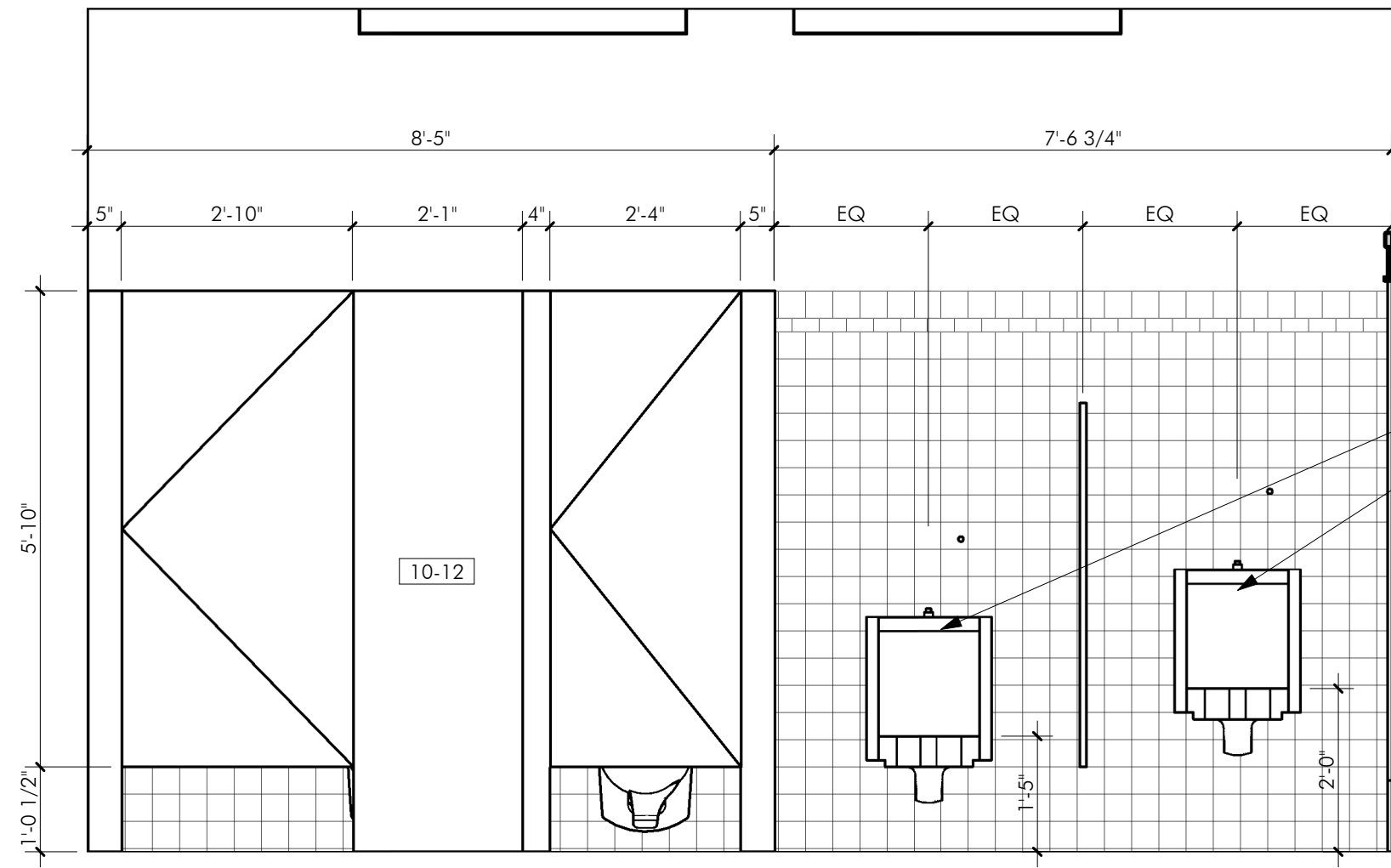
LEGEND

CHARLES THOMPSON MEMORIAL HALL  
 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY: [Signature] DATE: 04.30.2021

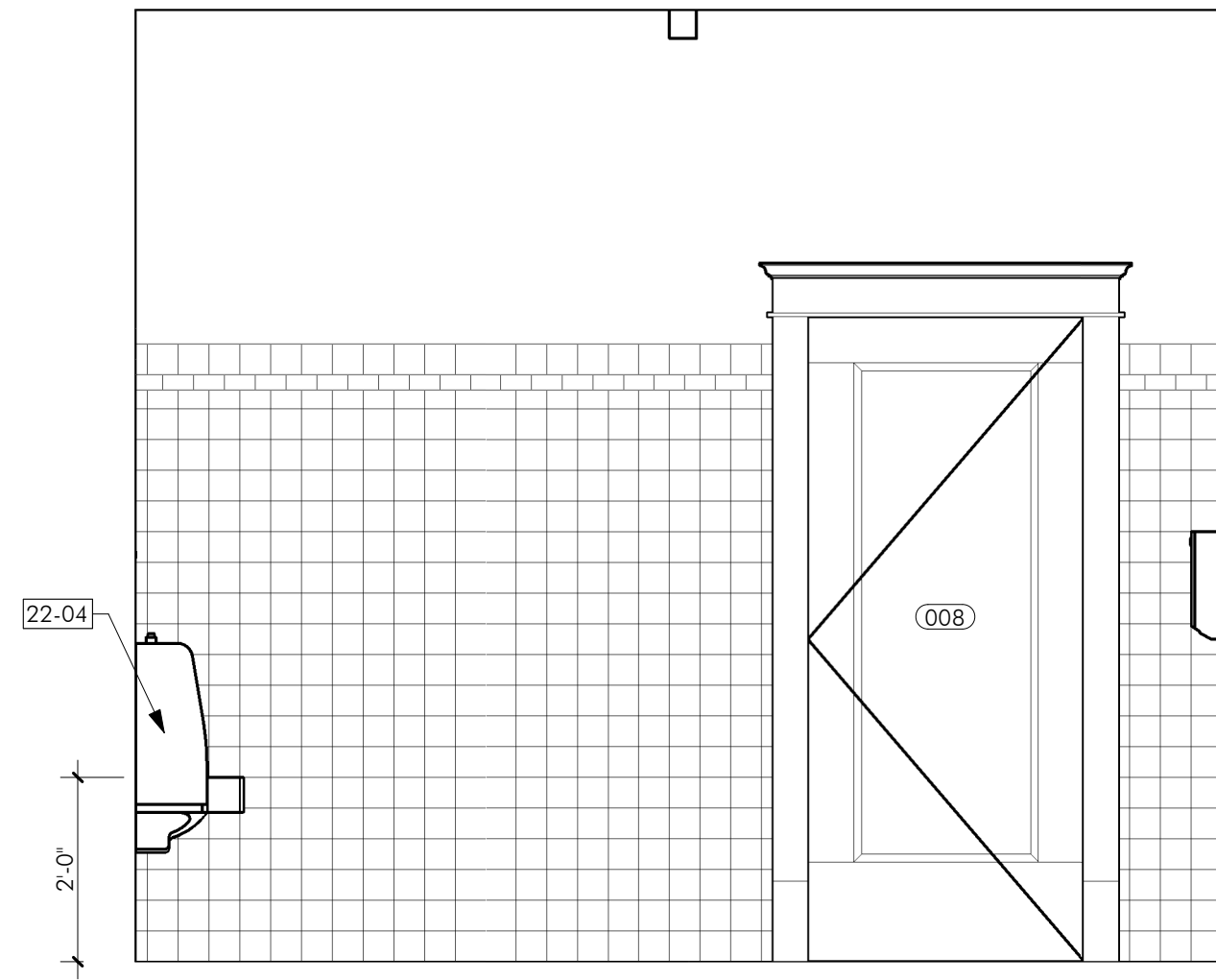
BUILDING SECTIONS & DETAILS

A302

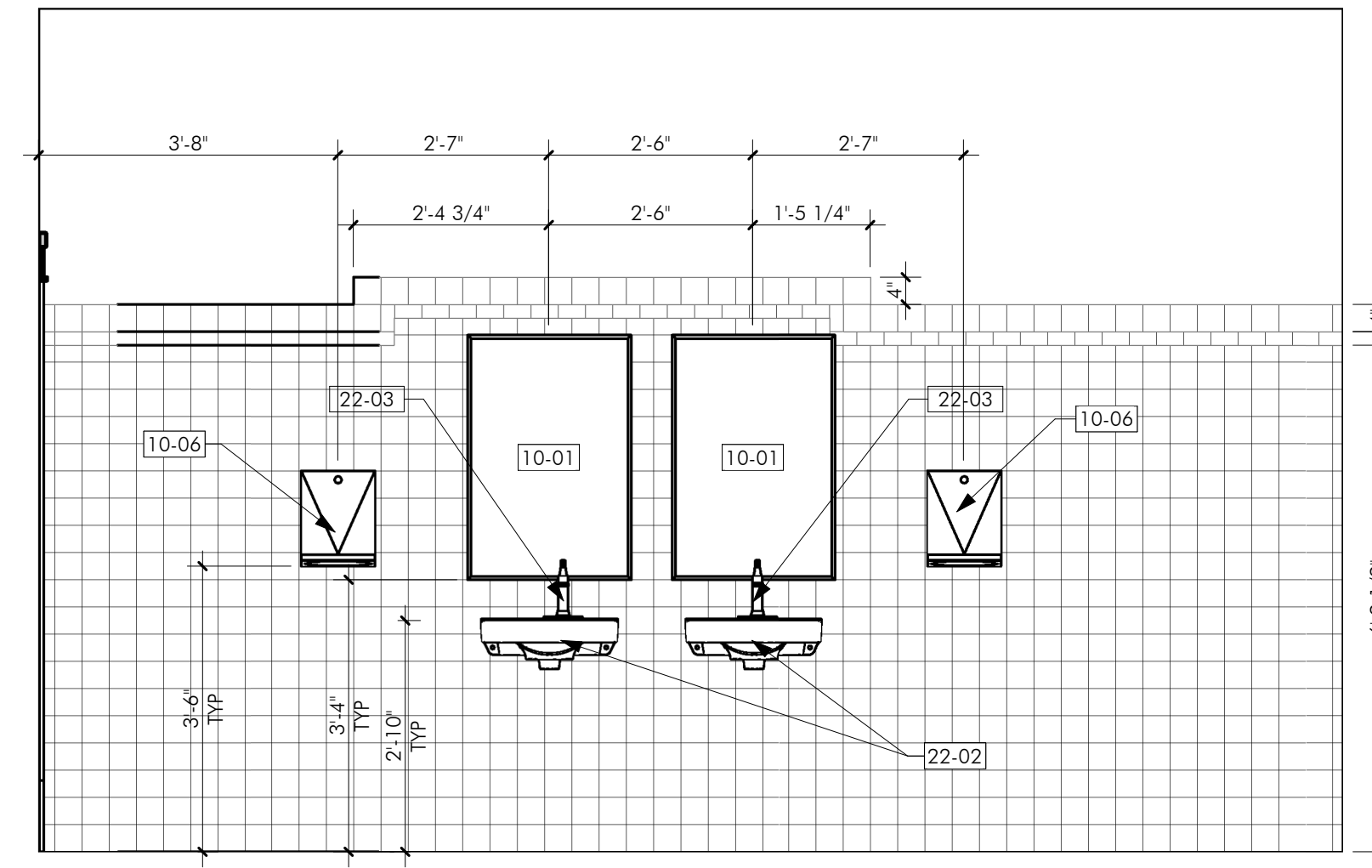
- PLEASE REFER TO SHEET G000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.
- PROVIDE TOILET PARTITION WALLS AS DIMENSIONED, BASIS OF DESIGN: POWDER COATED - FLOOR MOUNTED STANDARD METAL TOILET PARTITIONS BY HADRIAN.



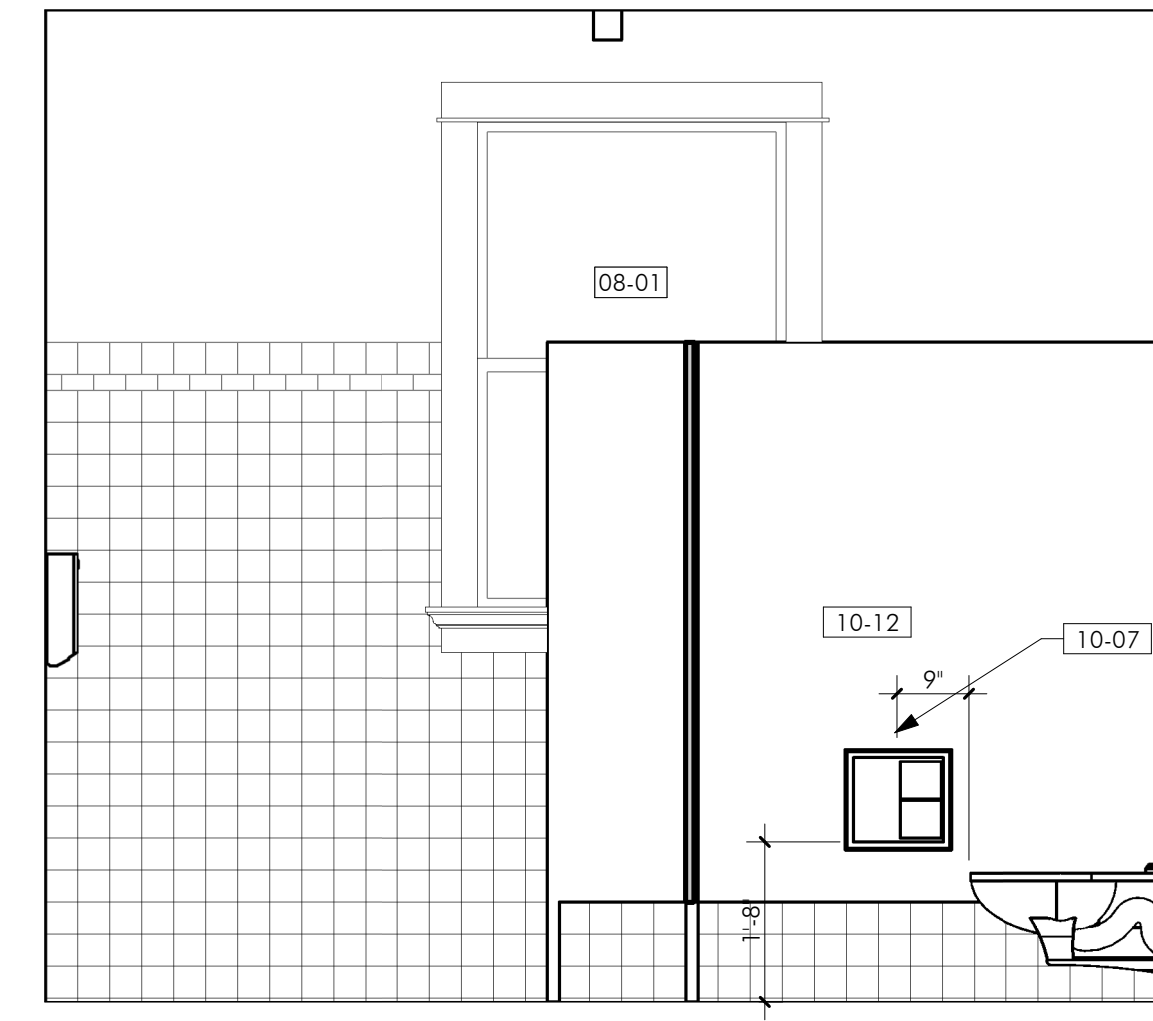
1 | 008 MENS TOILET RM - NORTH  
 1/2" = 1'-0"



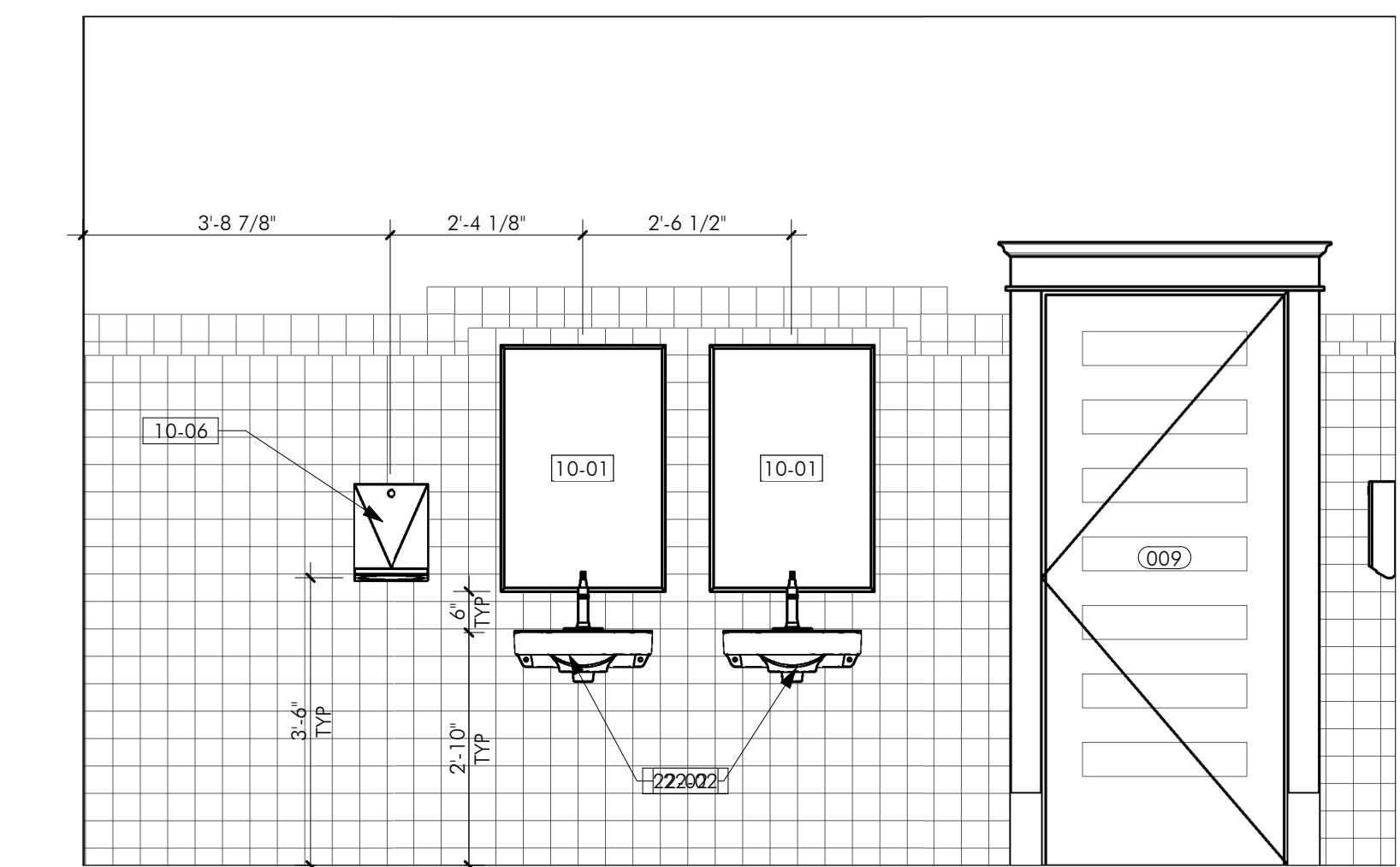
2 | 008 MENS TOILET RM - EAST  
 1/2" = 1'-0"



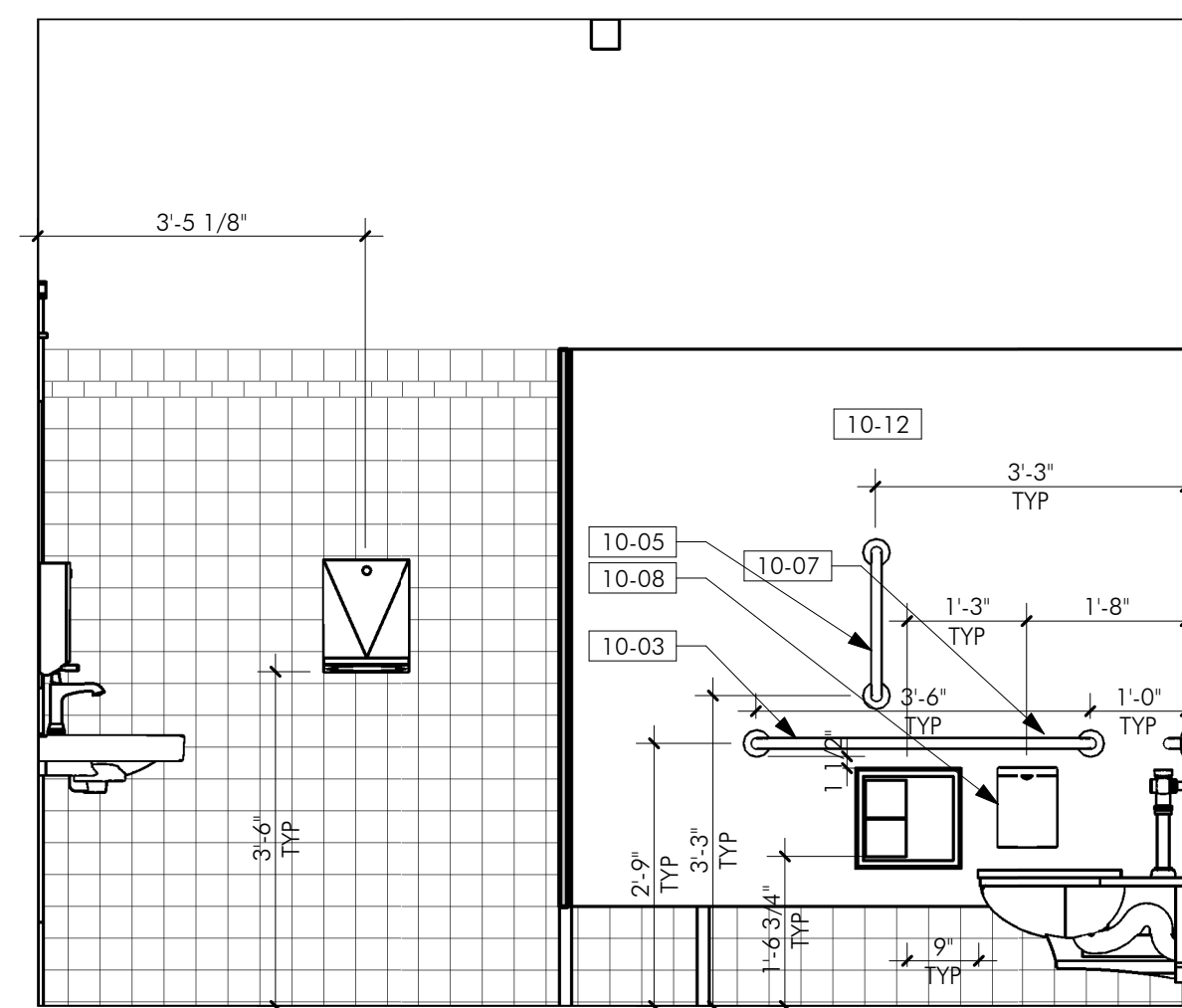
3 | 008 MENS TOILET RM - SOUTH  
 1/2" = 1'-0"



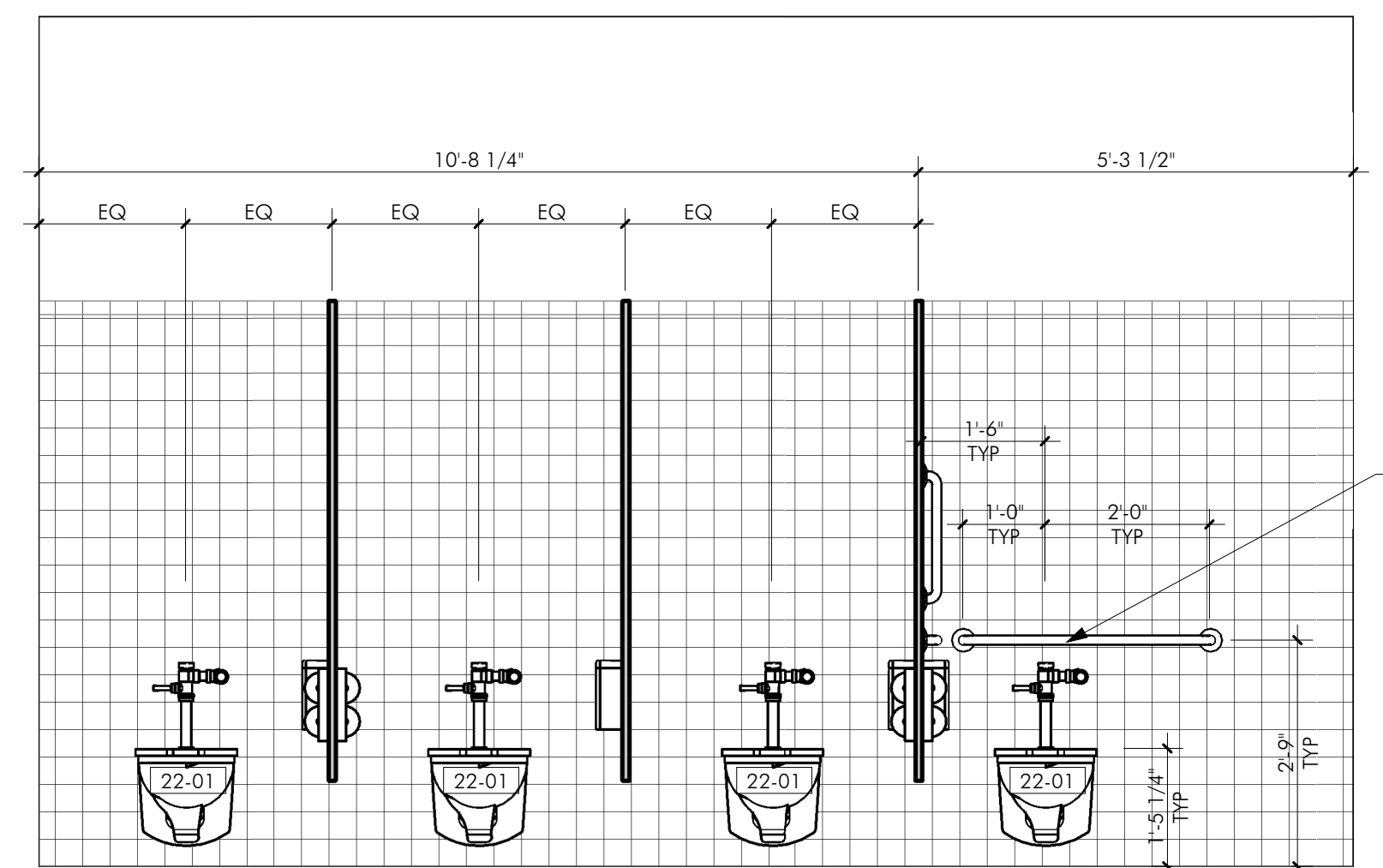
4 | 008 MENS TOILET RM - WEST  
 1/2" = 1'-0"



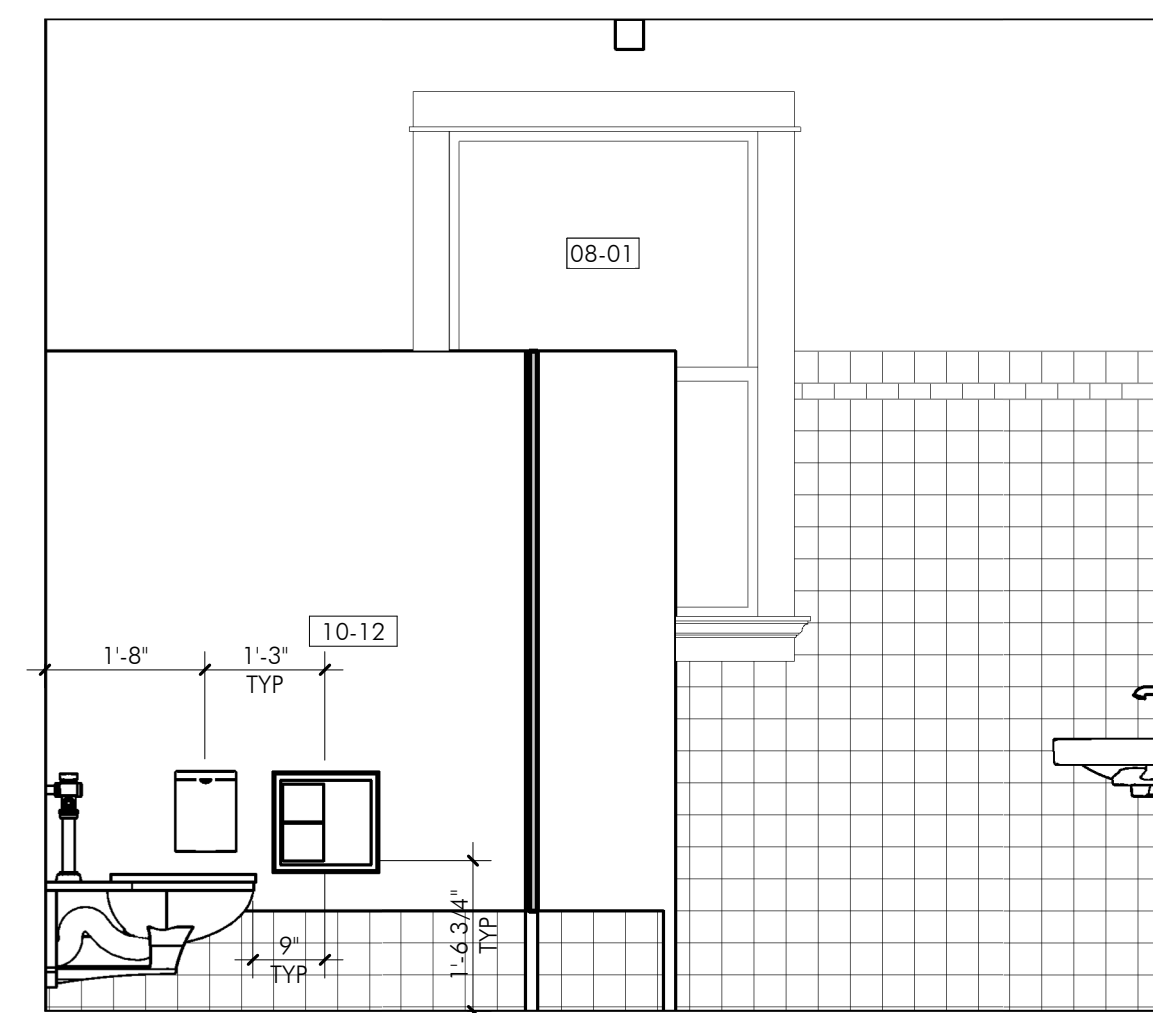
5 | 009 WOMENS TOILET RM - NORTH  
 1/2" = 1'-0"



6 | 009 WOMENS TOILET RM - EAST  
 1/2" = 1'-0"



7 | 009 WOMENS TOILET RM - SOUTH  
 1/2" = 1'-0"



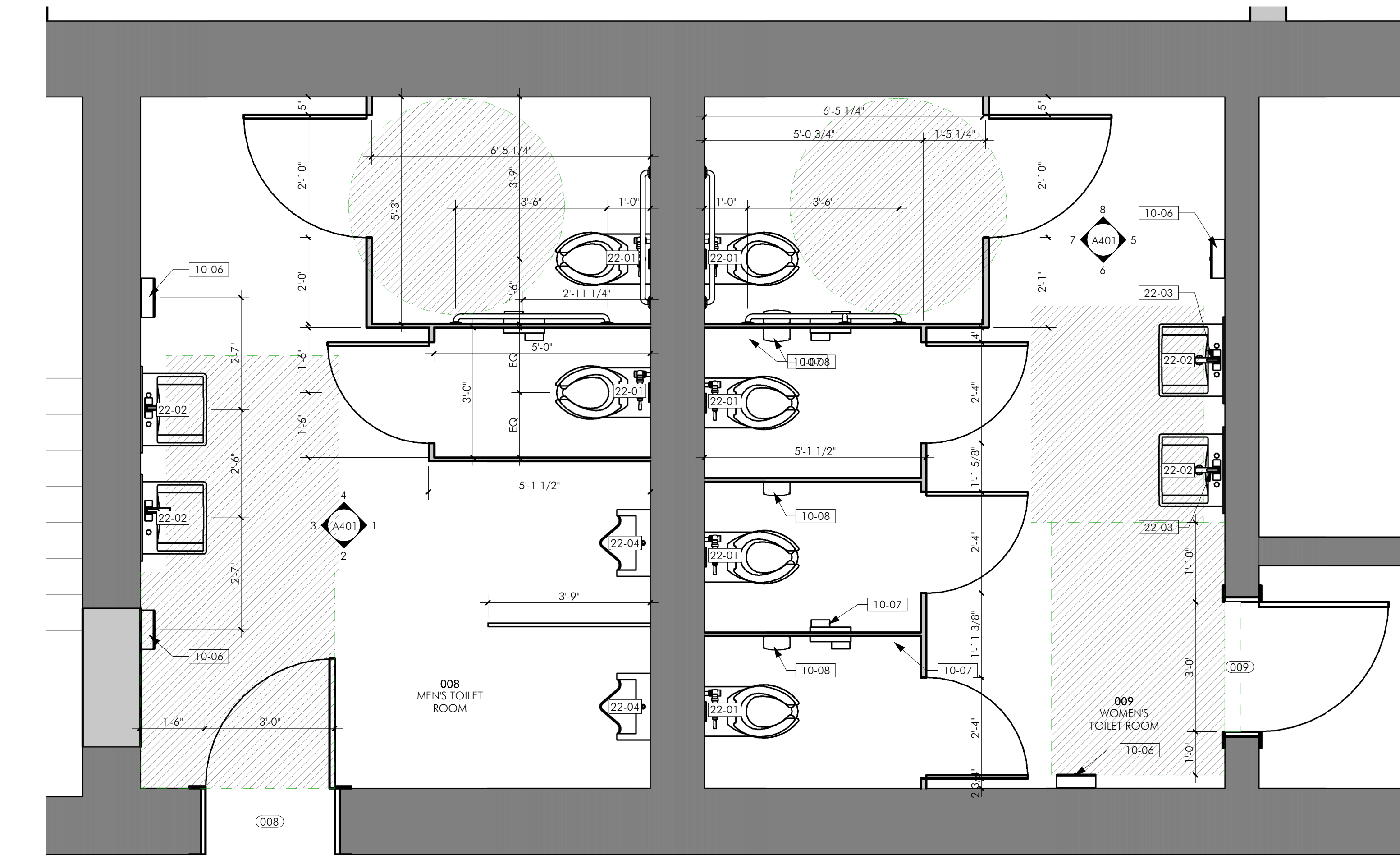
8 | 009 WOMENS TOILET RM - WEST  
 1/2" = 1'-0"

KEYNOTES

08-01	APPLY VINYL PRIVACY FILM TO EXISTING GLAZING.
10-01	PROVIDE MIRROR. SEE PLUMBING ACCESSORY SCHEDULE.
10-03	PROVIDE 42" GRAB BAR. SEE PLUMBING ACCESSORY SCHEDULE.
10-04	PROVIDE 36" GRAB BAR. SEE PLUMBING ACCESSORY SCHEDULE.
10-05	PROVIDE 18" VERTICAL GRAB BAR. SEE PLUMBING ACCESSORY SCHEDULE.
10-06	PROVIDE PAPER TOWEL DISPENSER. SEE PLUMBING ACCESSORY SCHEDULE.
10-07	PROVIDE RECESSED TOILET PAPER DISPENSER. SEE PLUMBING ACCESSORY SCHEDULE.
10-08	PROVIDE SANITARY NAPKIN RECEPTACLE. SEE PLUMBING ACCESSORY SCHEDULE.
10-12	PROVIDE TOILET PARTITION WALL. BASIS OF DESIGN: POWDER COATED - FLOOR MOUNTED STANDARD METAL TOILET PARTITIONS BY HADRIAN.
22-01	PROVIDE WALL MOUNTED TOILET. SEE PLUMB. DWGS.
22-02	PROVIDE WALL MOUNT FAUCET SINK. SEE PLUMB. FIXTURE SCHEDULE AND PLUMB. DWGS.
22-03	PROVIDE DECK-MOUNT FAUCET. SEE PLUMB. FIXTURE SCHEDULE AND PLUMB. DWGS.
22-04	PROVIDE WALL MOUNTED URINAL. SEE PLUMB. FIXTURE SCHEDULE AND PLUMB. DWGS.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

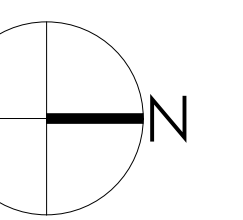
REVISIONS		
No.	Description	Date



17 | LOWER LEVEL TOILET ROOMS - ENLARGED  
 PLAN  
 1/2" = 1'-0"

LEGEND

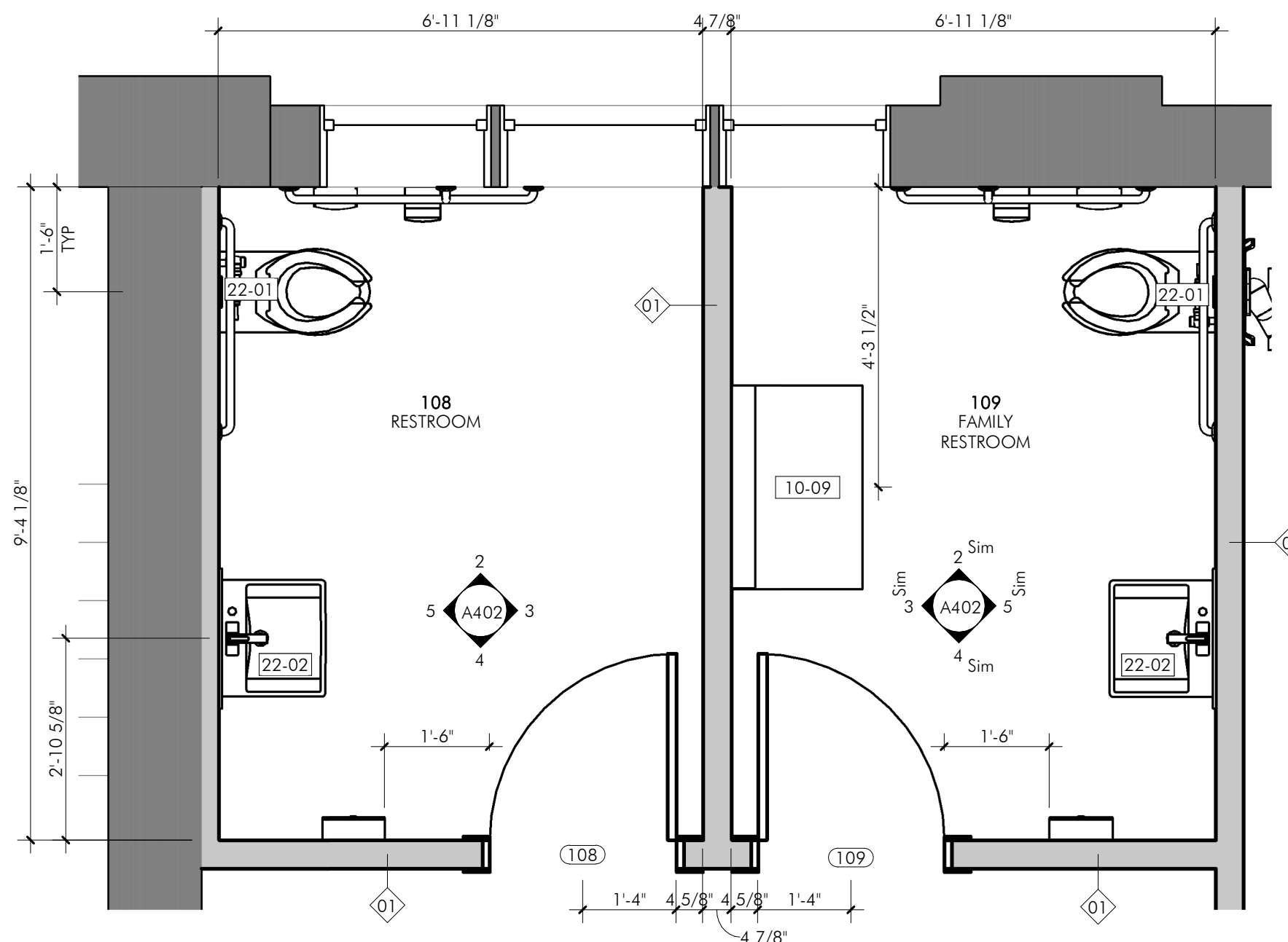
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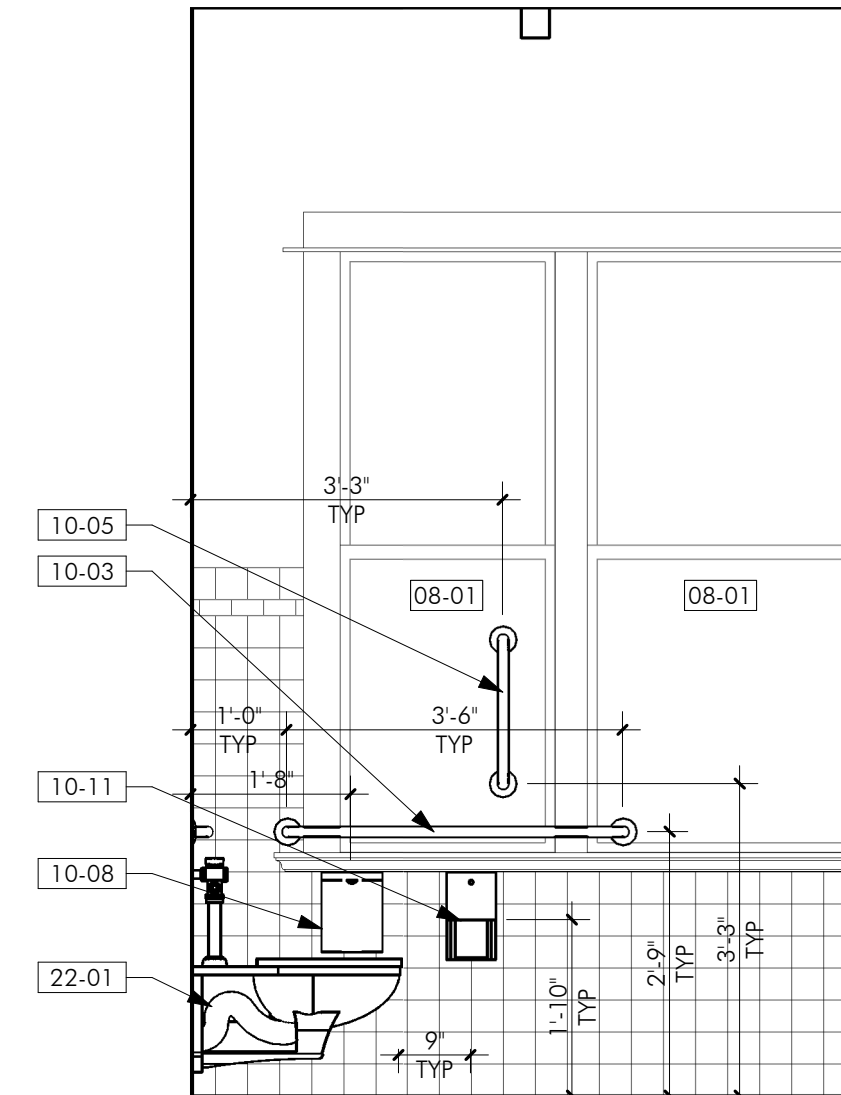
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 DRAWN BY: [Signature]  
 DATE: 04.30.2021

LOWER LEVEL  
 RESTROOM PLAN &  
 ELEVATIONS

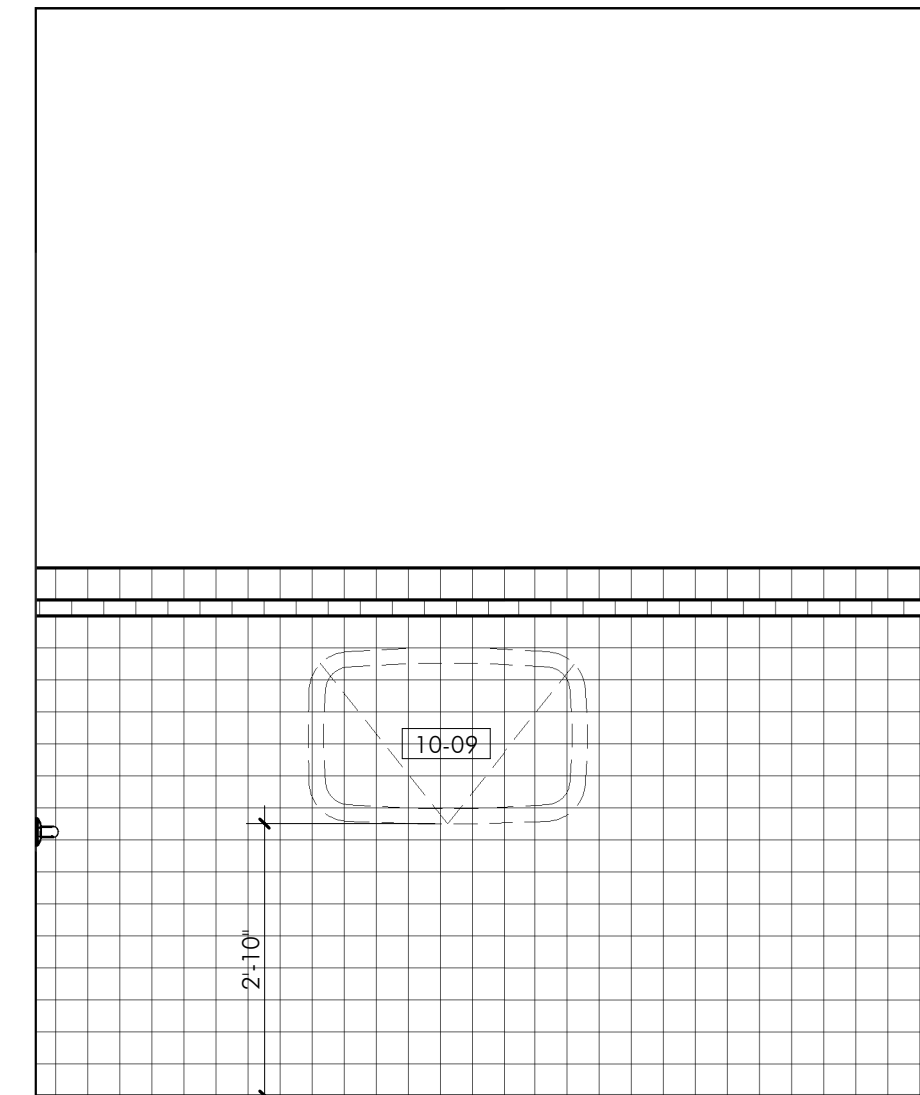
**A401**



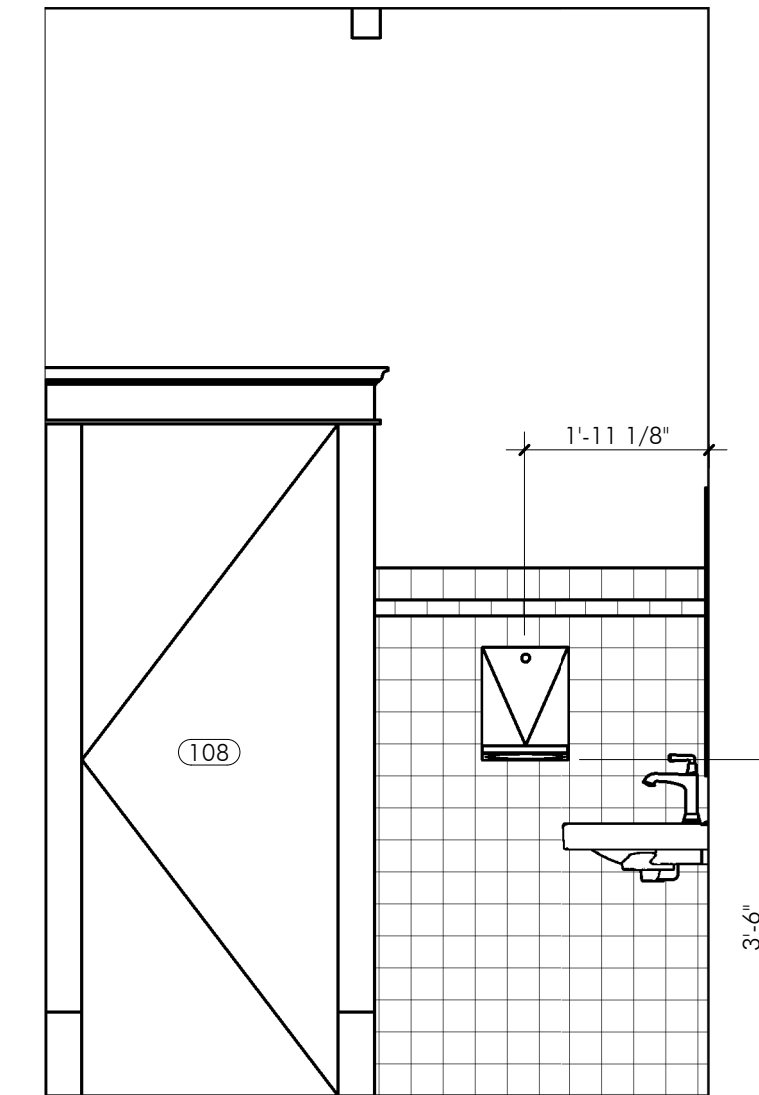
1 FIRST FLOOR RESTROOMS - ENLARGED  
 PLAN  
 A402 1/2" = 1'-0"



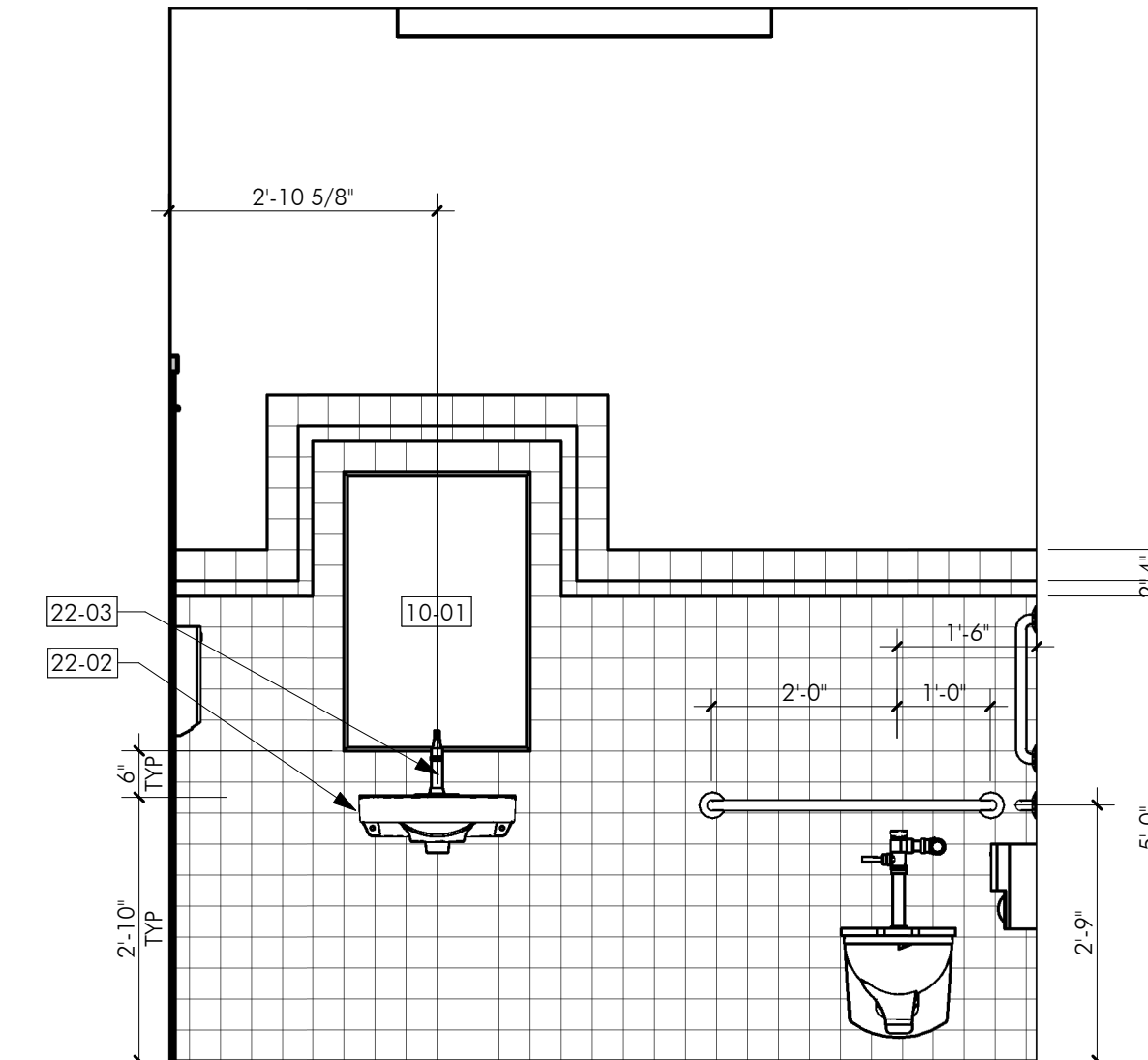
2 108/109 FAMILY RESTROOM, TYP - WEST  
 A402 1/2" = 1'-0"



3 108/109 FAMILY RESTROOM, TYP - NORTH  
 A402 1/2" = 1'-0"

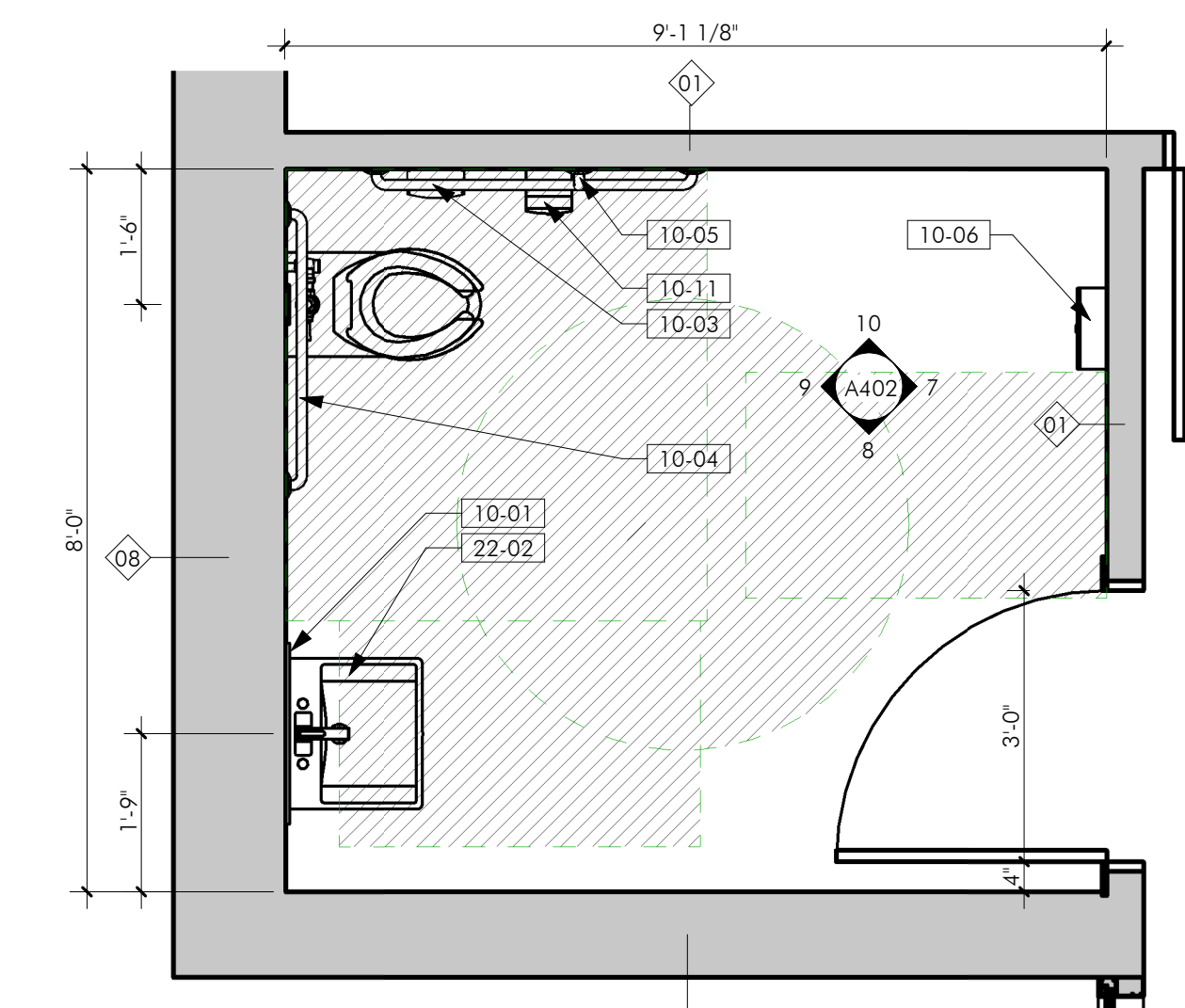


4 108/109 FAMILY RESTROOM, TYP - EAST  
 A402 1/2" = 1'-0"

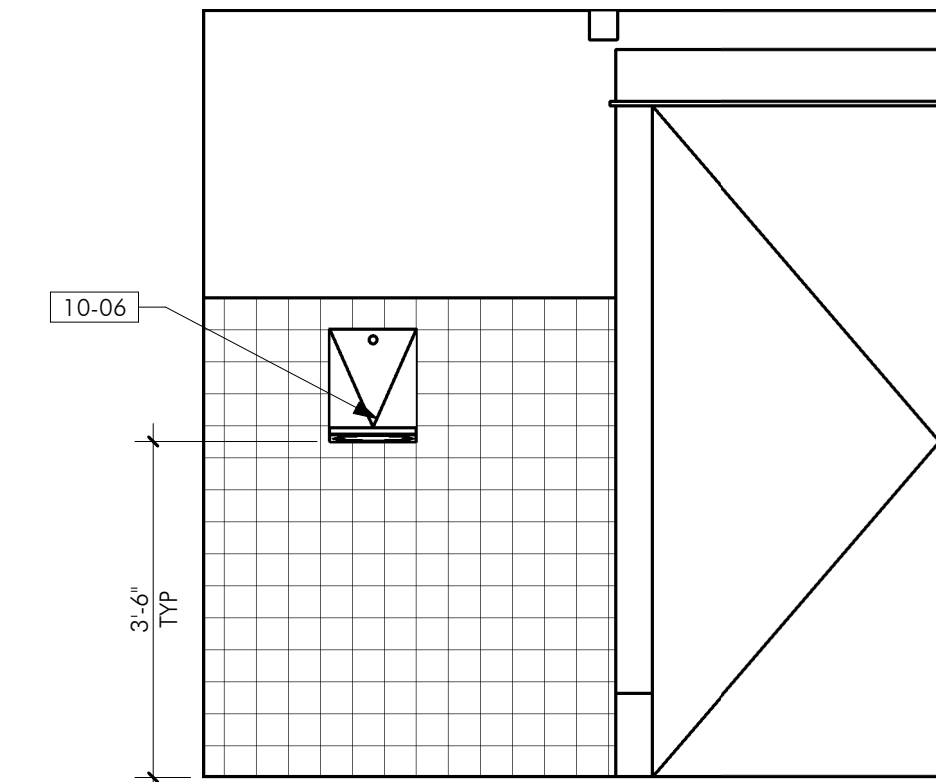


5 108/109 FAMILY RESTROOM, TYP - SOUTH  
 A402 1/2" = 1'-0"

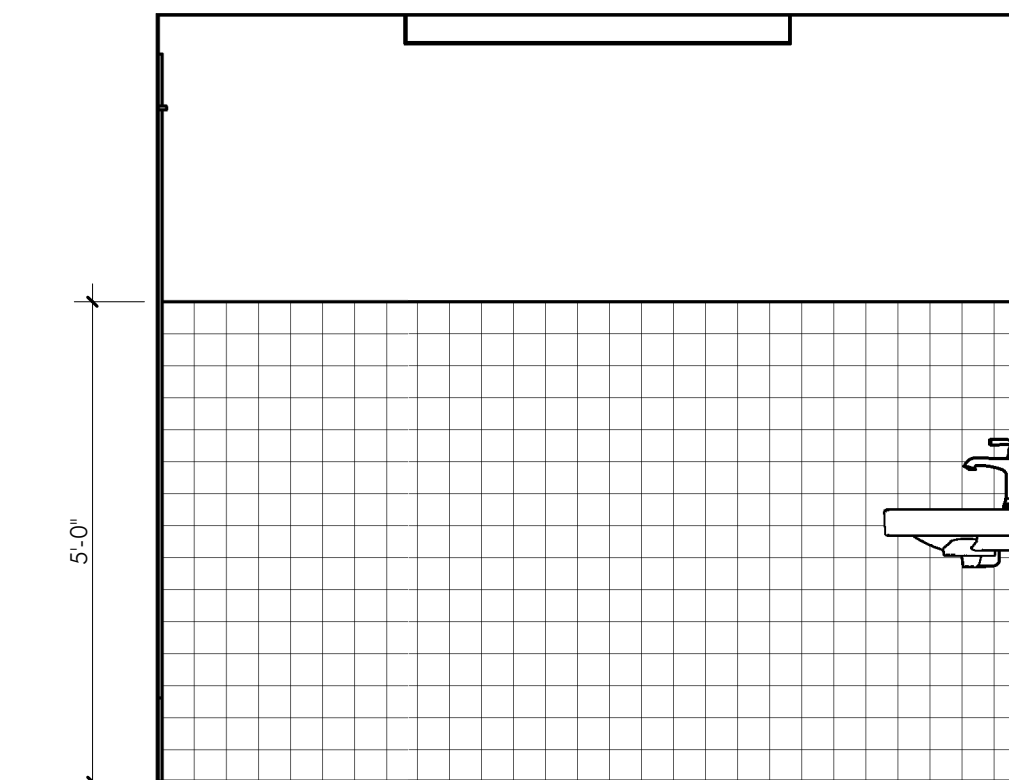
PLUMBING FIXTURE & ACCESSORY SCHEDULE						
KEYNOTE	QTY	DESCRIPTION	MANUFACTURER	MODEL	MATERIAL AND/OR FINISH	LENGTH
<b>008 MEN'S TOILET ROOM</b>						
10-01	1	Grab Bars	Bradley Corporation	8320-001360	Bradley Corp Stainless Steel - Satin	3' - 0"
10-02	1	Grab Bars	Bradley Corporation	8320-001420	Bradley Corp Stainless Steel - Satin	3' - 6"
10-06	2	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	Bobrick Washroom Equipment, Inc.	B-262	Bradley Corp Stainless Steel - Satin	
10-07	1	Bobrick B-386 Partition Mounted Two Compartment Multi-roll Toilet Tissue Dispenser	Bobrick Washroom Equipment, Inc.	B-386	Stainless Steel - Bobrick - Satin	
10-16	2	Bobrick B-165 2436 Channel Frame Mirror	Bobrick Washroom Equipment, Inc.	B-165 2436	Stainless Steel - Bobrick - Satin	
22-01	2	'AFWALL™ ELONGATED' Low Consumption Toilet	American Standard	3351.001		
22-02	2	Decorum® Wall-Hung Lavatory With Everclean® 8" centers less overflow	American Standard	9024.014EC		1' - 6 1/4"
22-03	2	7455117 Town Square S Monoblock Red/Blue temp indicator. Metal push pop-up drain.	American Standard	7455117	Brass-American Standard-002-Polished Chrome	0' - 7"
22-04	2	'WASHBROOK UNIVERSAL' High Efficiency Urinal	American Standard	6590.001		
<b>009 WOMEN'S TOILET ROOM</b>						
10-01	1	Grab Bars	Bradley Corporation	8320-001360	Bradley Corp Stainless Steel - Satin	3' - 0"
10-02	1	Grab Bars	Bradley Corporation	8320-001420	Bradley Corp Stainless Steel - Satin	3' - 6"
10-03	1	Grab Bars	Bradley Corporation	8320-001180	Bradley Corp Stainless Steel - Satin	1' - 6"
10-06	2	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	Bobrick Washroom Equipment, Inc.	B-262	Stainless Steel - Bobrick - Satin	
10-07	2	Bobrick B-386 Partition Mounted Two Compartment Multi-roll Toilet Tissue Dispenser	Bobrick Washroom Equipment, Inc.	B-386	Stainless Steel - Bobrick - Satin	
10-13	4	Bobrick B-270 Contura Series Surface Mounted Sanitary Napkin Disposal	Bobrick Washroom Equipment, Inc.	B-270	Stainless Steel - Bobrick - Satin	
10-16	2	Bobrick B-165 2436 Channel Frame Mirror	Bobrick Washroom Equipment, Inc.	B-165 2436	Stainless Steel - Bobrick - Satin	
22-01	4	'AFWALL™ ELONGATED' Low Consumption Toilet	American Standard	3351.001		
22-02	2	Decorum® Wall-Hung Lavatory With Everclean® 8" centers less overflow	American Standard	9024.014EC		1' - 6 1/4"
22-03	2	7455117 Town Square S Monoblock Red/Blue temp indicator. Metal push pop-up drain.	American Standard	7455117	Brass-American Standard-002-Polished Chrome	0' - 7"
<b>108 RESTROOM</b>						
10-01	1	Grab Bars	Bradley Corporation	8320-001360	Bradley Corp Stainless Steel - Satin	3' - 0"
10-02	1	Grab Bars	Bradley Corporation	8320-001420	Bradley Corp Stainless Steel - Satin	3' - 6"
10-03	1	Grab Bars	Bradley Corporation	8320-001180	Bradley Corp Stainless Steel - Satin	1' - 6"
10-06	1	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	Bobrick Washroom Equipment, Inc.	B-262	Stainless Steel - Bobrick - Satin	
10-11	1	Bobrick B-4288 Contura Series Surface Mounted Multi-roll Toilet Tissue Dispenser	Bobrick Washroom Equipment, Inc.	B-4288	Stainless Steel - Bobrick - Satin	
10-13	1	Bobrick B-270 Contura Series Surface Mounted Sanitary Napkin Disposal	Bobrick Washroom Equipment, Inc.	B-270	Stainless Steel - Bobrick - Satin	
10-16	1	Bobrick B-165 2436 Channel Frame Mirror	Bobrick Washroom Equipment, Inc.	B-165 2436	Stainless Steel - Bobrick - Satin	
22-01	1	'AFWALL™ ELONGATED' Low Consumption Toilet	American Standard	3351.001		
22-02	1	Decorum® Wall-Hung Lavatory With Everclean® with CHO with right hand soap dispenser	American Standard	9024.011EC		1' - 6 1/4"
22-03	1	7455117 Town Square S Monoblock Red/Blue temp indicator. Metal push pop-up drain.	American Standard	7455117	Brass-American Standard-002-Polished Chrome	0' - 7"
<b>109 FAMILY RESTROOM</b>						
10-01	1	Grab Bars	Bradley Corporation	8320-001360	Bradley Corp Stainless Steel - Satin	3' - 0"
10-02	1	Grab Bars	Bradley Corporation	8320-001420	Bradley Corp Stainless Steel - Satin	3' - 6"
10-03	1	Grab Bars	Bradley Corporation	8320-001180	Bradley Corp Stainless Steel - Satin	1' - 6"
10-06	1	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	Bobrick Washroom Equipment, Inc.	B-262	Stainless Steel - Bobrick - Satin	
10-11	1	Bobrick B-4288 Contura Series Surface Mounted Multi-roll Toilet Tissue Dispenser	Bobrick Washroom Equipment, Inc.	B-4288	Stainless Steel - Bobrick - Satin	
10-13	1	Bobrick B-270 Contura Series Surface Mounted Sanitary Napkin Disposal	Bobrick Washroom Equipment, Inc.	B-270	Stainless Steel - Bobrick - Satin	
10-16	1	Bobrick B-165 2436 Channel Frame Mirror	Bobrick Washroom Equipment, Inc.	B-165 2436	Stainless Steel - Bobrick - Satin	
10-38	1	Bobrick KB200-00 Surface Mounted Baby Changing Station (Koala Kare)	Bobrick Washroom Equipment, Inc.	KB200-001	Stainless Steel - Bobrick - Satin	
22-01	1	'AFWALL™ ELONGATED' Low Consumption Toilet	American Standard	3351.001		
22-02	1	Decorum® Wall-Hung Lavatory With Everclean® with CHO with right hand soap dispenser	American Standard	9024.011EC		1' - 6 1/4"
22-03	1	7455117 Town Square S Monoblock Red/Blue temp indicator. Metal push pop-up drain.	American Standard	7455117	Brass-American Standard-002-Polished Chrome	0' - 7"
<b>207 RESTROOM</b>						
10-01	1	Grab Bars	Bradley Corporation	8320-001360	Bradley Corp Stainless Steel - Satin	3' - 0"
10-02	1	Grab Bars	Bradley Corporation	8320-001420	Bradley Corp Stainless Steel - Satin	3' - 6"
10-03	1	Grab Bars	Bradley Corporation	8320-001180	Bradley Corp Stainless Steel - Satin	1' - 6"
10-06	1	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	Bobrick Washroom Equipment, Inc.	B-262	Stainless Steel - Bobrick - Satin	
10-11	2	Bobrick B-4288 Contura Series Surface Mounted Multi-roll Toilet Tissue Dispenser	Bobrick Washroom Equipment, Inc.	B-4288	Stainless Steel - Bobrick - Satin	
10-13	2	Bobrick B-270 Contura Series Surface Mounted Sanitary Napkin Disposal	Bobrick Washroom Equipment, Inc.	B-270	Stainless Steel - Bobrick - Satin	
10-16	1	Bobrick B-165 2436 Channel Frame Mirror	Bobrick Washroom Equipment, Inc.	B-165 2436	Stainless Steel - Bobrick - Satin	
22-01	1	'AFWALL™ ELONGATED' Low Consumption Toilet	American Standard	3351.001		
22-02	1	Decorum® Wall-Hung Lavatory With Everclean® 8" centers less overflow	American Standard	9024.014EC		1' - 6 1/4"
22-03	1	7455117 Town Square S Monoblock Red/Blue temp indicator. Metal push pop-up drain.	American Standard	7455117	Brass-American Standard-002-Polished Chrome	0' - 7"
<b>308 RESTROOM</b>						
10-01	1	Grab Bars	Bradley Corporation	8320-001360	Bradley Corp Stainless Steel - Satin	3' - 0"
10-02	1	Grab Bars	Bradley Corporation	8320-001420	Bradley Corp Stainless Steel - Satin	3' - 6"
10-03	1	Grab Bars	Bradley Corporation	8320-001180	Bradley Corp Stainless Steel - Satin	1' - 6"
10-06	1	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	Bobrick Washroom Equipment, Inc.	B-262	Stainless Steel - Bobrick - Satin	
10-16	1	Bobrick B-165 2436 Channel Frame Mirror	Bobrick Washroom Equipment, Inc.	B-165 2436	Stainless Steel - Bobrick - Satin	
22-01	1	'AFWALL™ ELONGATED' Low Consumption Toilet	American Standard	3351.001		
22-02	1	Decorum® Wall-Hung Lavatory With Everclean® 8" centers less overflow	American Standard	9024.014EC		1' - 6 1/4"
22-03	1	7455117 Town Square S Monoblock Red/Blue temp indicator. Metal push pop-up drain.	American Standard	7455117	Brass-American Standard-002-Polished Chrome	0' - 7"



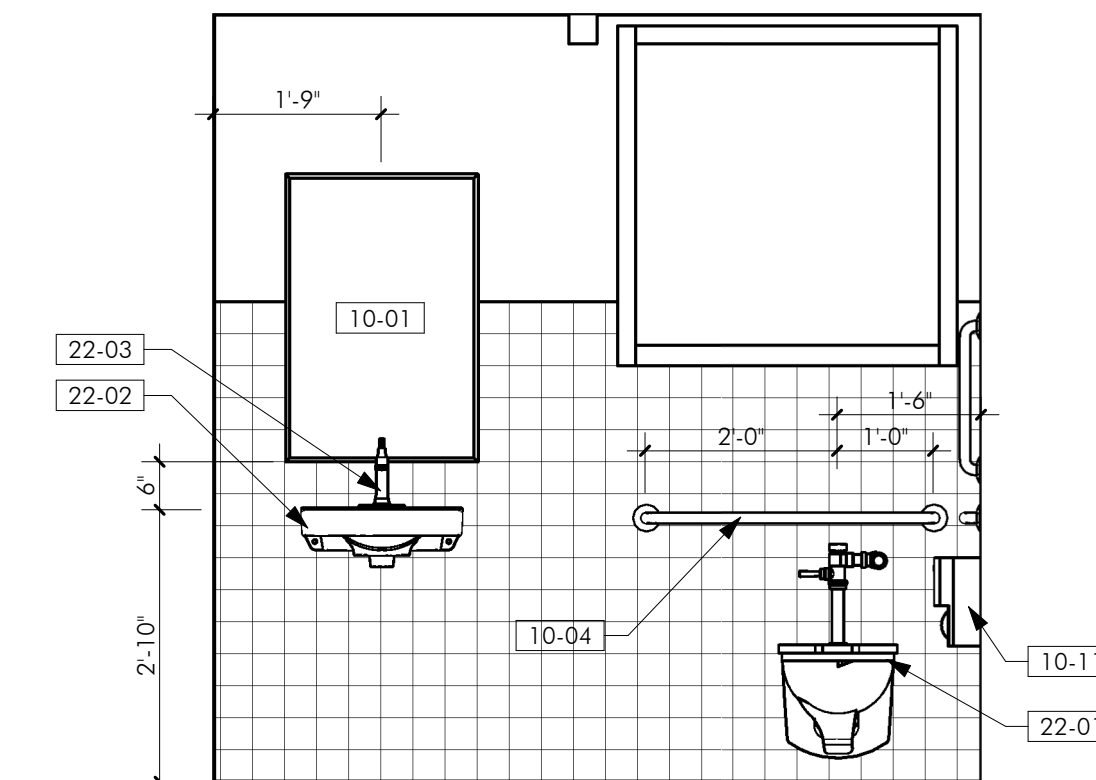
6 207\_308 RR - ENLARGED PLAN  
 A402 1/2" = 1'-0"



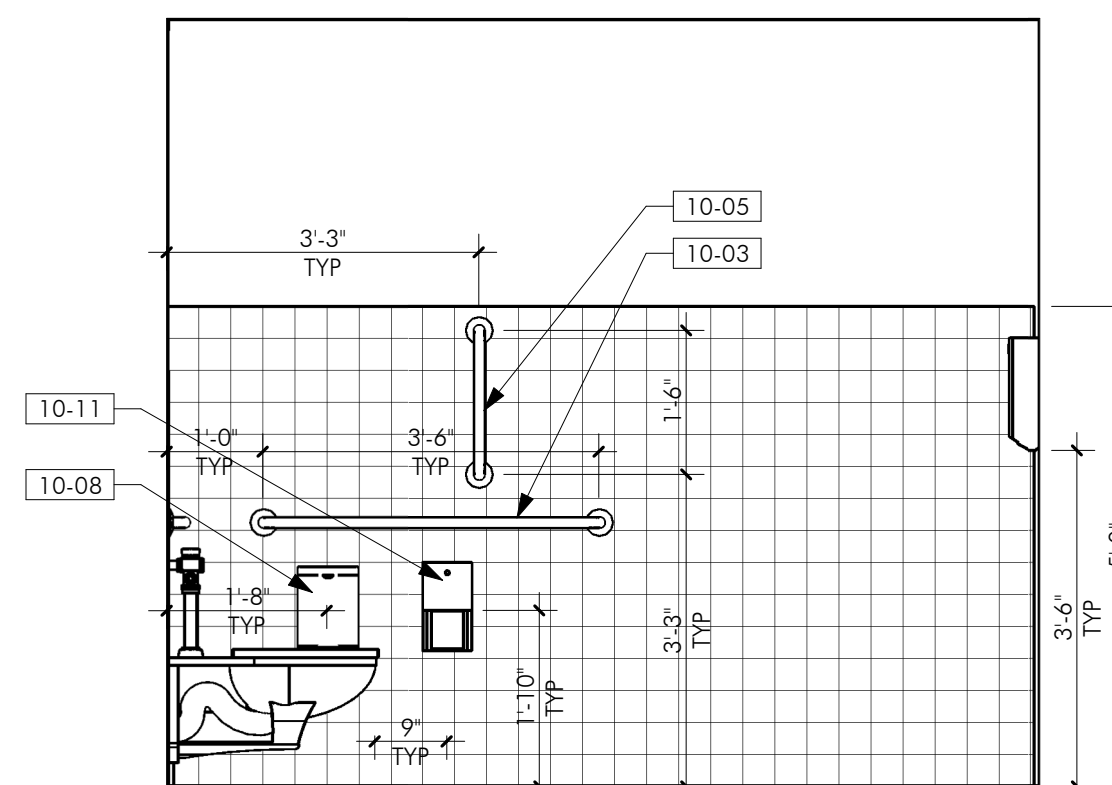
7 207\_308 RESTROOM - NORTH  
 A402 1/2" = 1'-0"



8 207\_308 RESTROOM - EAST  
 A402 1/2" = 1'-0"



9 207\_308 RESTROOM - SOUTH  
 A402 1/2" = 1'-0"



10 207\_308 RESTROOM - WEST  
 A402 1/2" = 1'-0"

KEYNOTES

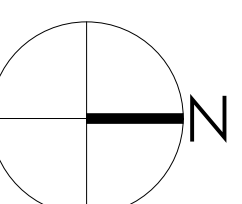
08-01	APPLY VINYL PRIVACY FILM TO EXISTING GLAZING.
10-01	PROVIDE MIRROR. SEE PLUMBING ACCESSORY SCHEDULE.
10-03	PROVIDE 42" GRAB BAR. SEE PLUMBING ACCESSORY SCHEDULE.
10-04	PROVIDE 36" GRAB BAR. SEE PLUMBING ACCESSORY SCHEDULE.
10-05	PROVIDE 18" VERTICAL GRAB BAR. SEE PLUMBING ACCESSORY SCHEDULE.
10-06	PROVIDE PAPER TOWEL DISPENSER. SEE PLUMBING ACCESSORY SCHEDULE.
10-08	PROVIDE SANITARY NAPKIN RECEPTACLE. SEE PLUMBING ACCESSORY SCHEDULE.
10-09	PROVIDE DIAPER CHANGING STATION. SEE PLUMBING ACCESSORY SCHEDULE.
10-11	PROVIDE TOILET PAPER DISPENSER. SEE PLUMBING ACCESSORY SCHEDULE.
22-01	PROVIDE WALL MOUNTED TOILET. SEE PLUMB. DWGS.
22-02	PROVIDE WALL MOUNT FAUCET SINK. SEE PLUMB. FIXTURE SCHEDULE AND PLUMB. DWGS.
22-03	PROVIDE DECK-MOUNT FAUCET. SEE PLUMB. FIXTURE SCHEDULE AND PLUMB. DWGS.

LEGEND

I hereby verify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

REVISIONS		
No.	Description	Date

90% Legacy Grant Review

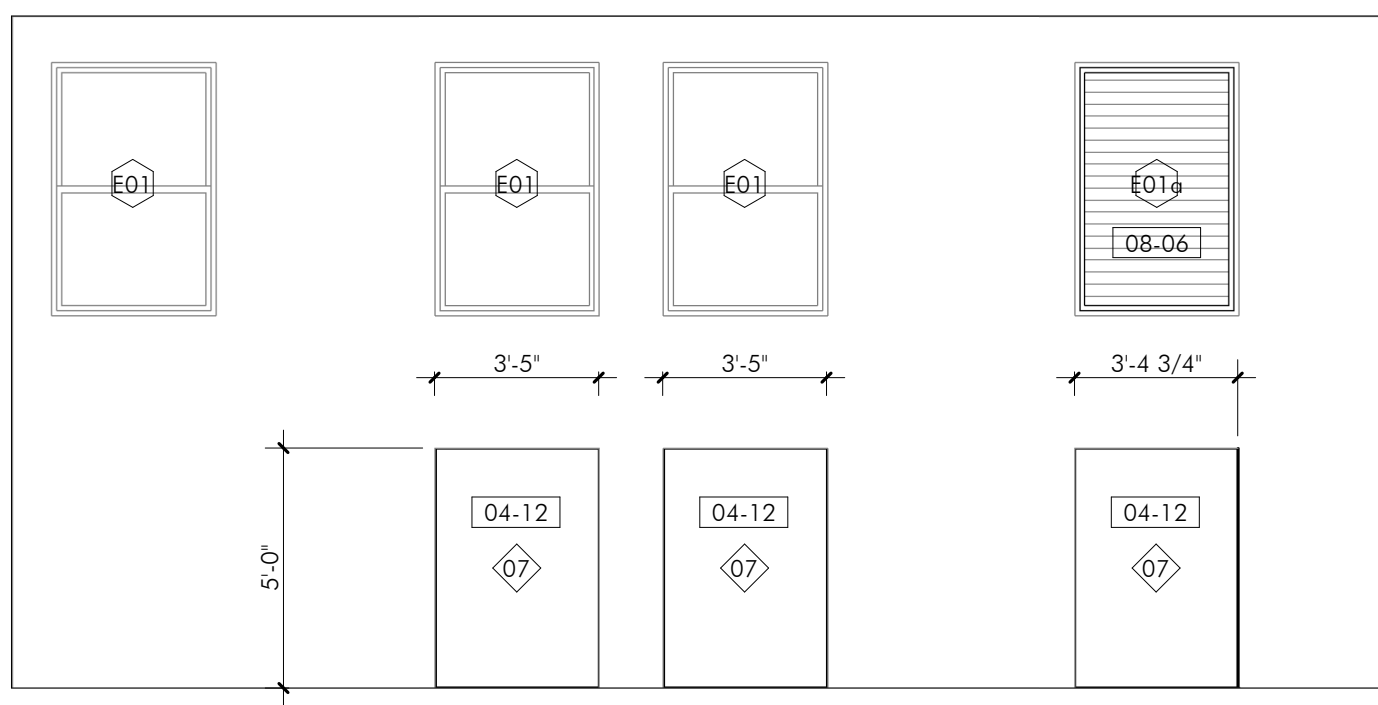


CHARLES THOMPSON MEMORIAL HALL  
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 DRAWN BY: [Signature] DATE: 04-30-2021

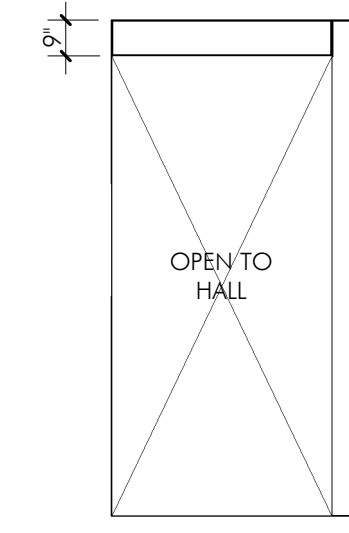
RESTROOM PLANS & ELEV. PLUMBING SCHEDULE

**A402**

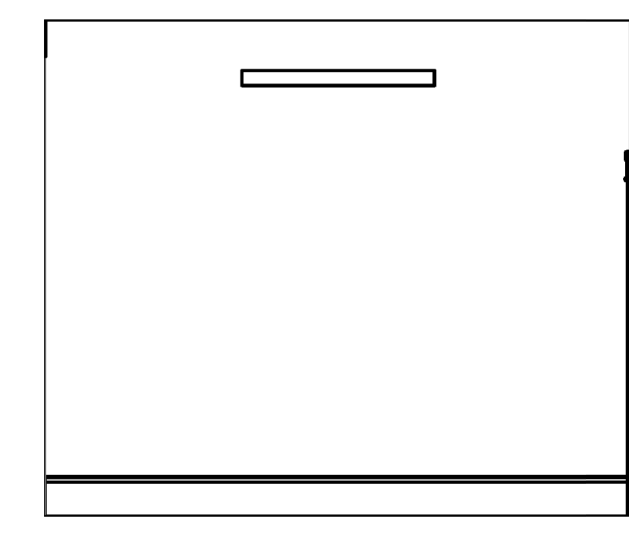
- PLEASE REFER TO SHEET G000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.
- REPAINTING WORK TO OCCUR IN EXISTING BUILDING. SEE FINISH SCHEDULE.
- REFER TO "WINDOW REHABILITATION SCHEDULE" FOR WORK ON EXISTING WINDOWS.



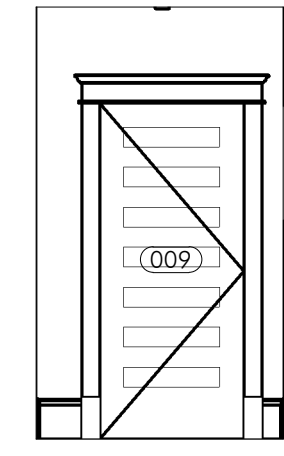
1 | 005 BOILER RM - EAST  
 A403 | 1/4" = 1'-0"



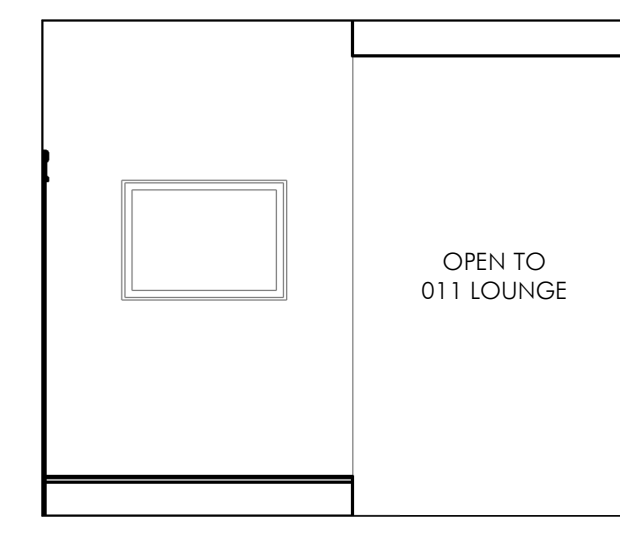
2 | 010 PASSAGE - NORTH  
 A403 | 1/4" = 1'-0"



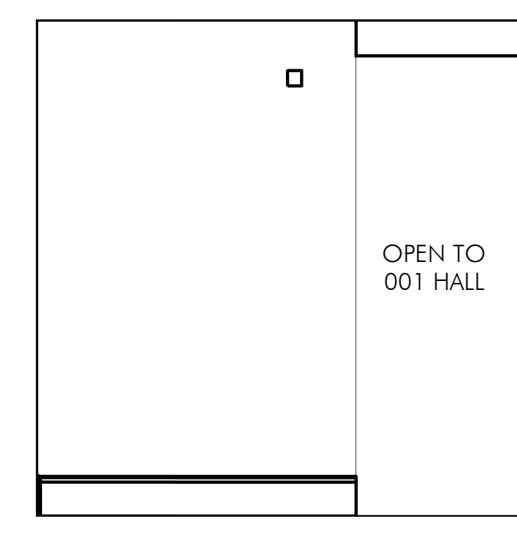
3 | 010 PASSAGE - EAST  
 A403 | 1/4" = 1'-0"



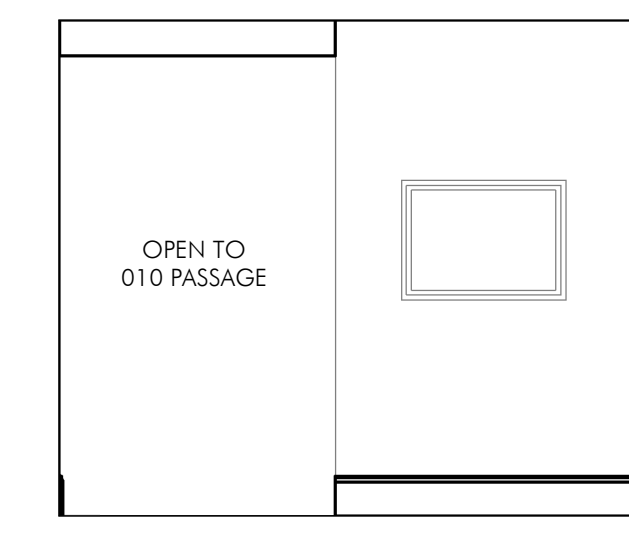
4 | 010 PASSAGE - SOUTH  
 A403 | 1/4" = 1'-0"



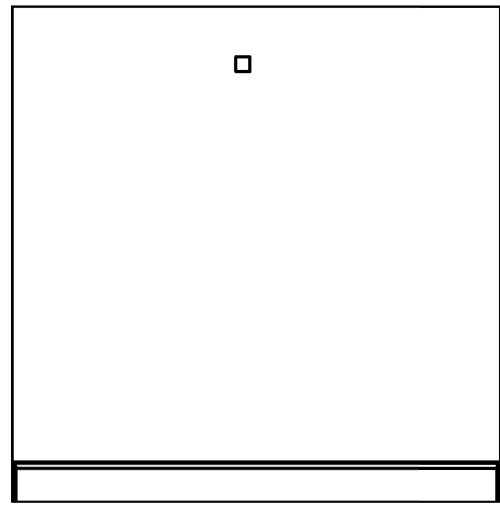
5 | 010 PASSAGE - WEST  
 A403 | 1/4" = 1'-0"



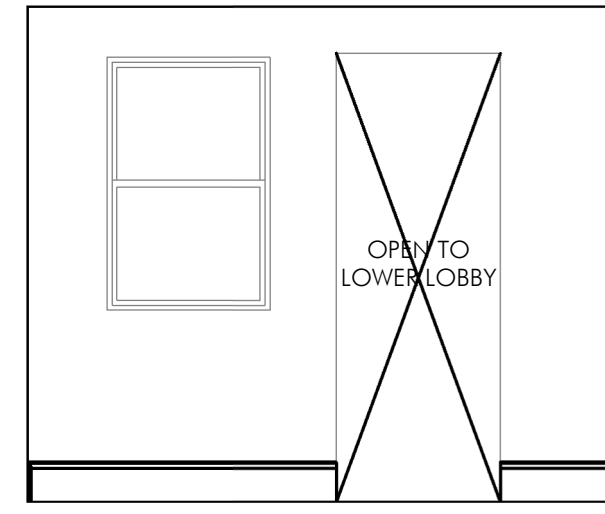
6 | 011 LOUNGE - NORTH  
 A403 | 1/4" = 1'-0"



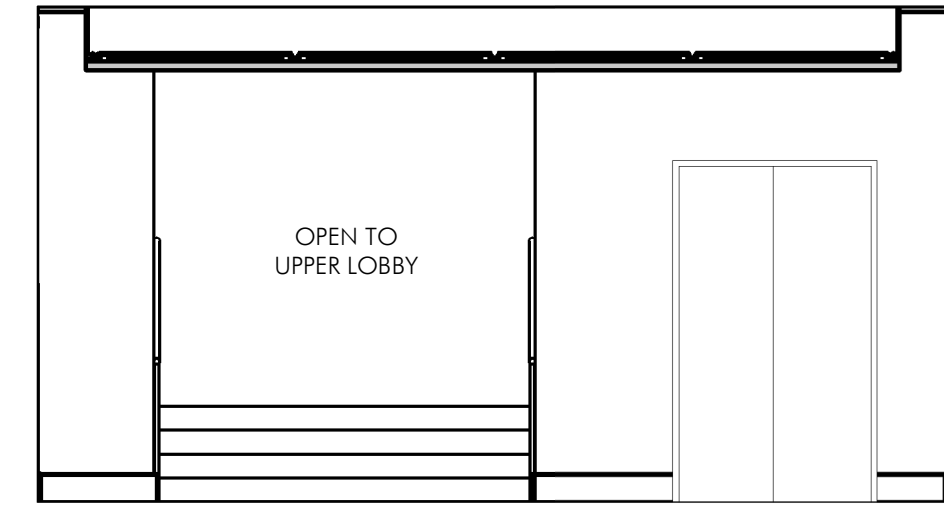
7 | 011 LOUNGE - EAST  
 A403 | 1/4" = 1'-0"



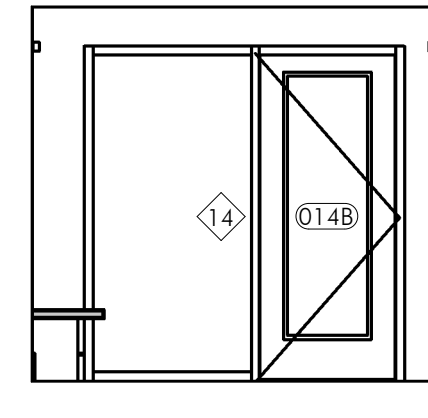
8 | 011 LOUNGE - SOUTH  
 A403 | 1/4" = 1'-0"



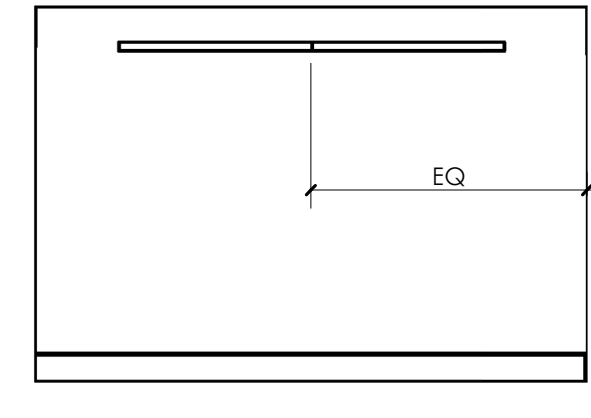
9 | 011 LOUNGE - WEST  
 A403 | 1/4" = 1'-0"



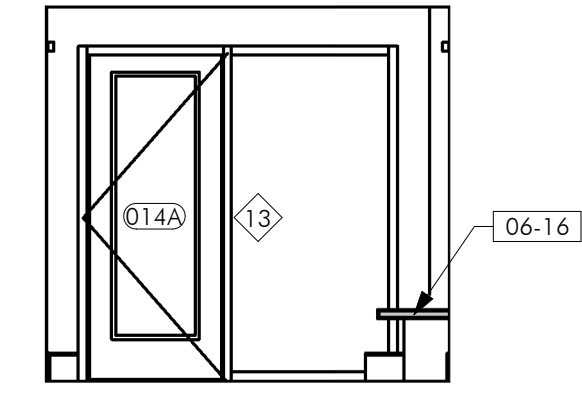
15 | 012 LOWER LOBBY - WEST  
 A403 | 1/4" = 1'-0"



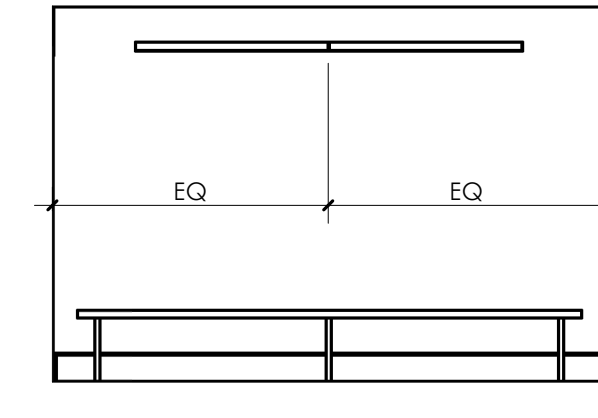
16 | 014 VESTIBULE - NORTH  
 A403 | 1/4" = 1'-0"



17 | 014 VESTIBULE - EAST  
 A403 | 1/4" = 1'-0"



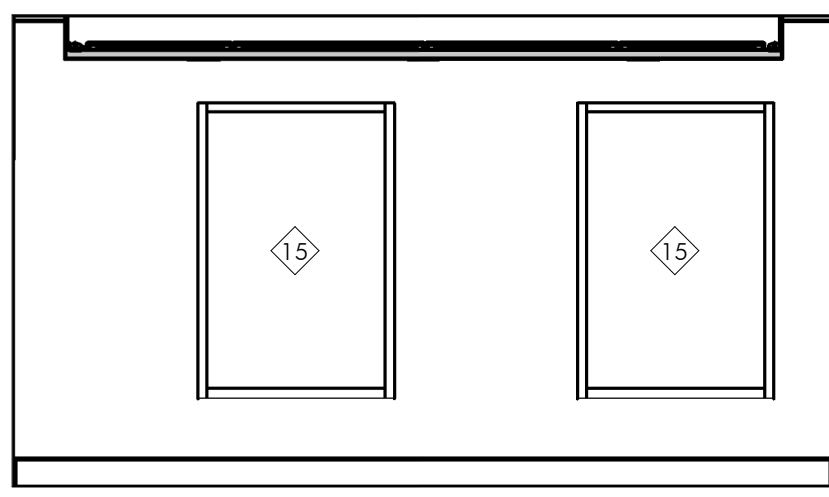
18 | 014 VESTIBULE - SOUTH  
 A403 | 1/4" = 1'-0"



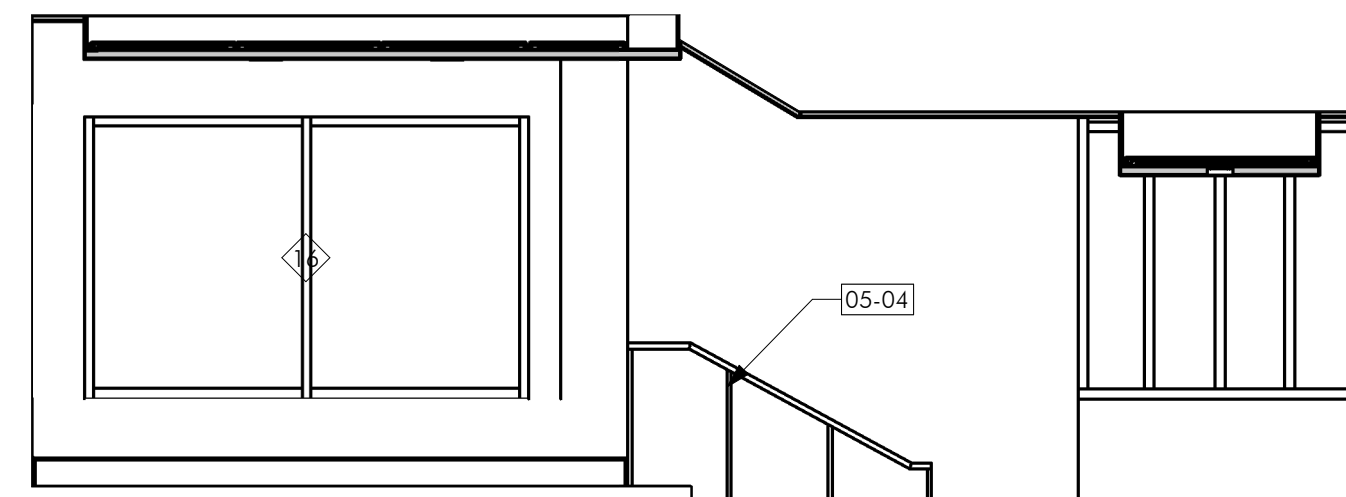
19 | 014 VESTIBULE - WEST  
 A403 | 1/4" = 1'-0"

KEYNOTES

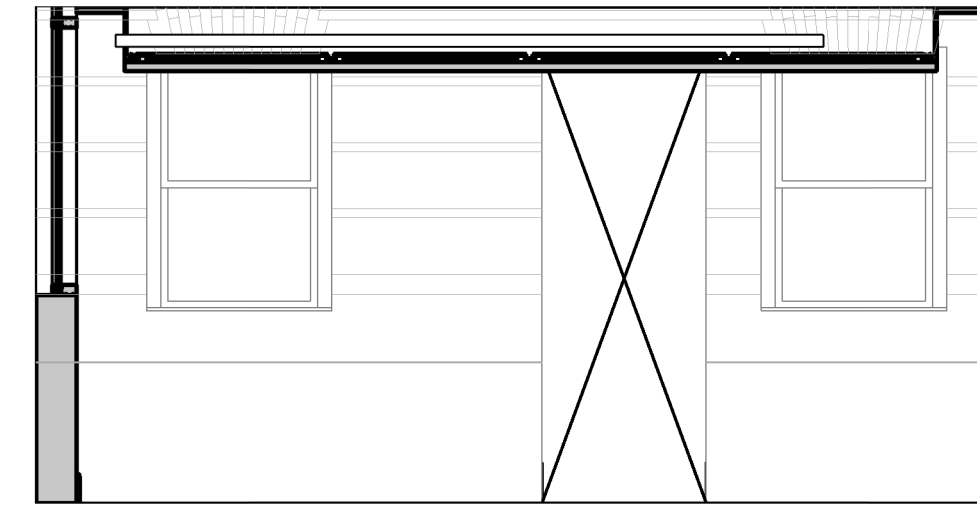
04-12	INFILL OPENINGS WITH CONCRETE MASONRY UNITS. PROVIDE WATERPROOFING.
05-04	INSTALL HANDRAIL.
06-16	INSTALL WOOD ENTRY BENCH WITH SUPPORTS.
08-06	PROVIDE LOUVER VENT TO FIT WITHIN EXISTING WINDOW OPENINGS.



14 | 013 LOBBY - WEST  
 A403 | 1/4" = 1'-0"



10 | 013 LOBBY & 012 LOWER LOBBY - NORTH  
 A403 | 1/4" = 1'-0"



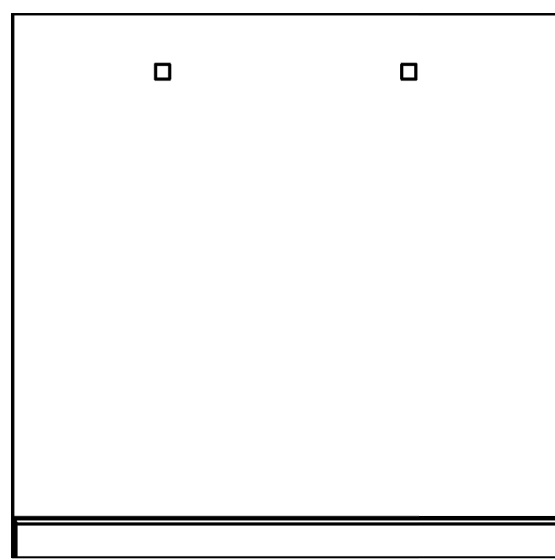
11 | 012 LOWER LOBBY - EAST  
 A403 | 1/4" = 1'-0"



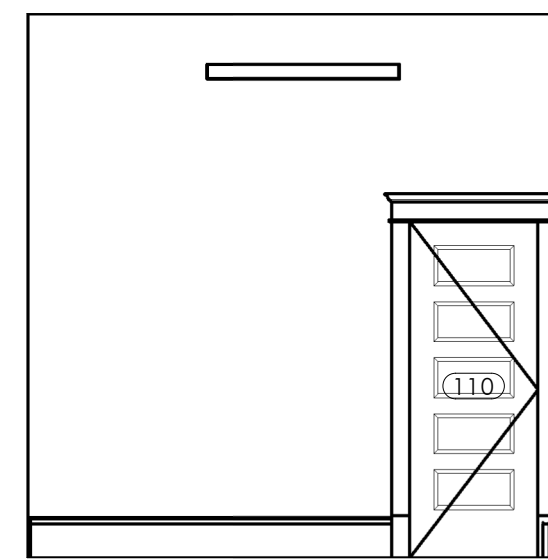
12 | 013 LOBBY & 012 LOWER LOBBY - SOUTH  
 A403 | 1/4" = 1'-0"



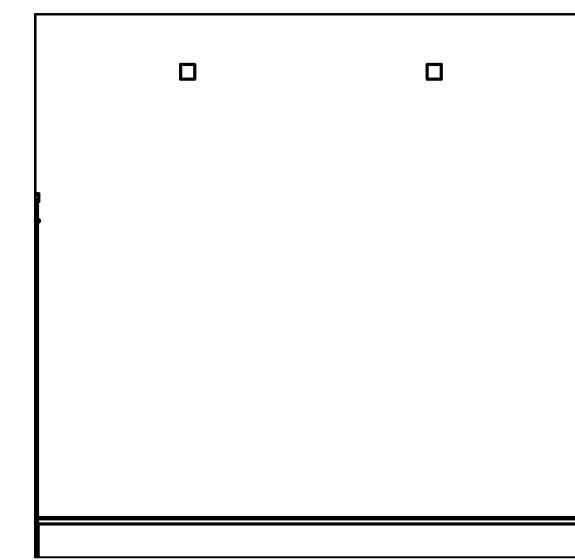
13 | 013 LOBBY - EAST  
 A403 | 1/4" = 1'-0"



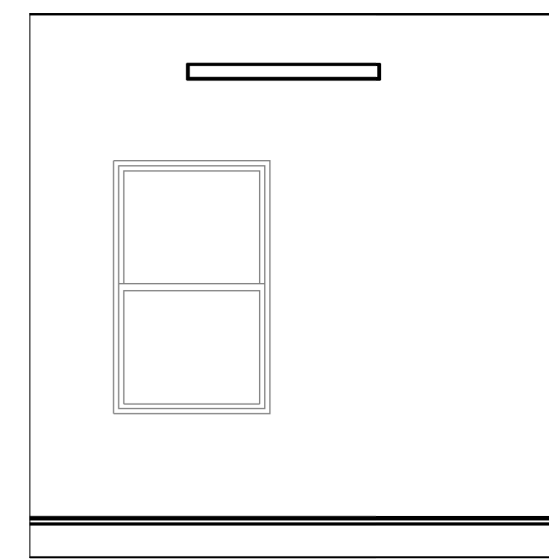
20 | 110 OFFICE - NORTH  
 A403 | 1/4" = 1'-0"



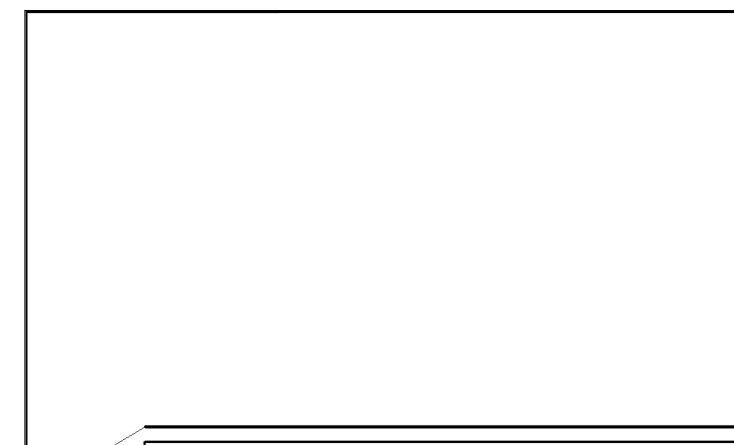
21 | 110 OFFICE - EAST  
 A403 | 1/4" = 1'-0"



22 | 110 OFFICE - SOUTH  
 A403 | 1/4" = 1'-0"



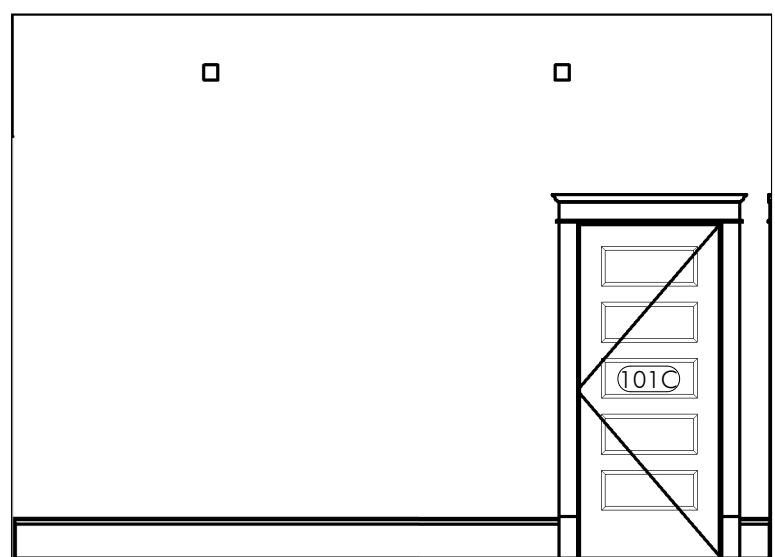
23 | 110 OFFICE - WEST  
 A403 | 1/4" = 1'-0"



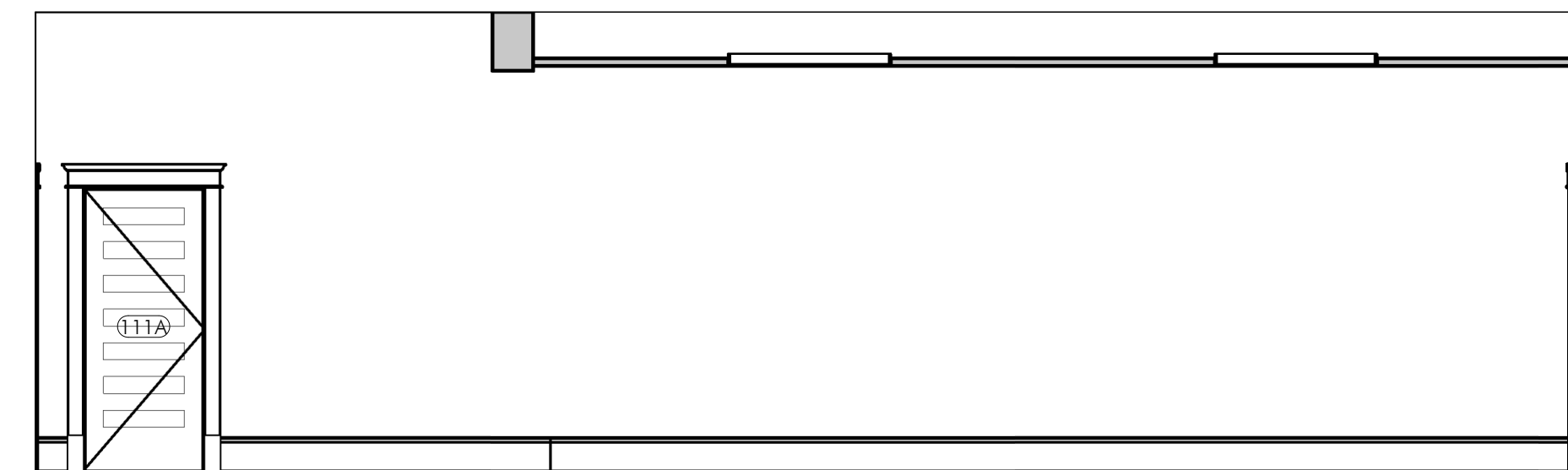
28 | 113 RAISED STORAGE - SOUTH  
 A403 | 1/4" = 1'-0"



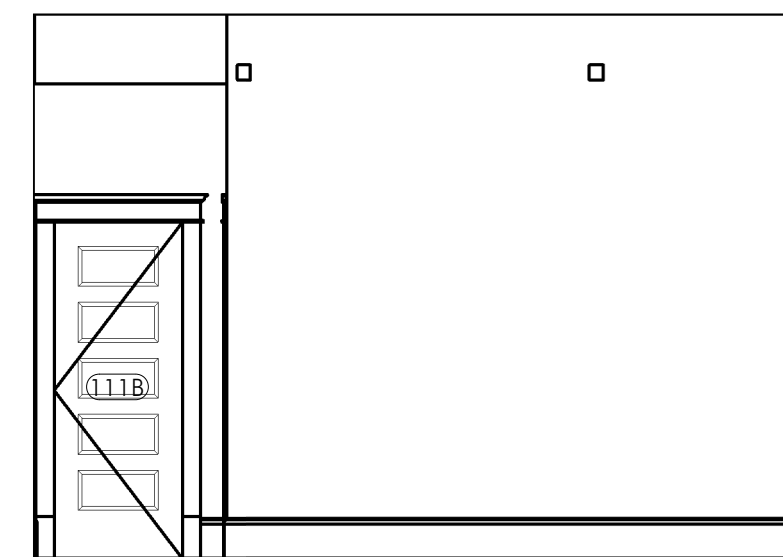
29 | 113 RAISED STORAGE - WEST  
 A403 | 1/4" = 1'-0"



24 | 111 LOUNGE - NORTH  
 A403 | 1/4" = 1'-0"



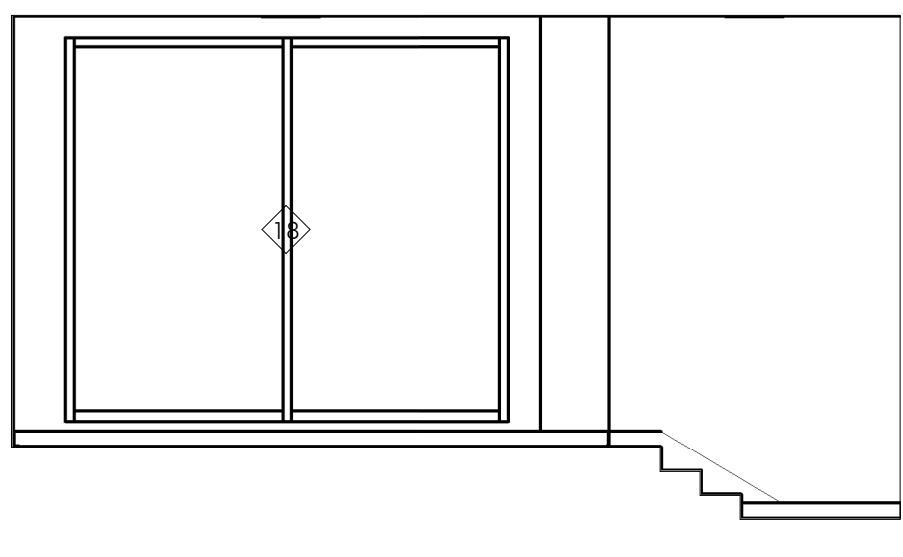
25 | 111 LOUNGE - EAST  
 A403 | 1/4" = 1'-0"



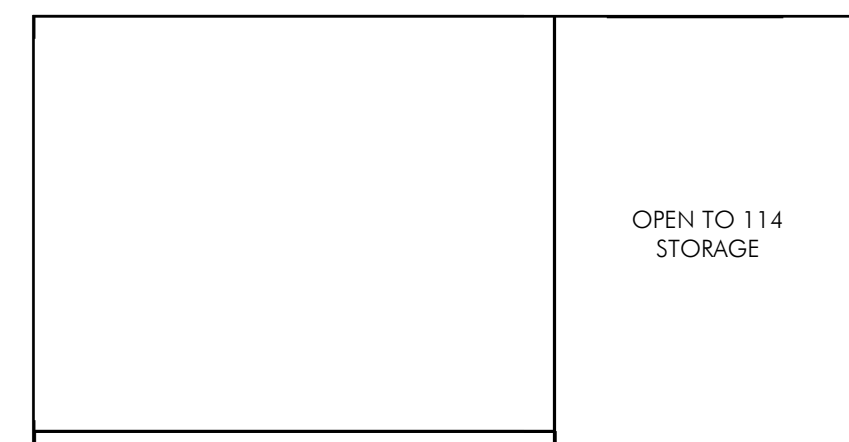
26 | 111 LOUNGE - SOUTH  
 A403 | 1/4" = 1'-0"



27 | 111 LOUNGE - WEST  
 A403 | 1/4" = 1'-0"



30 | 113 RAISED STORAGE - NORTH  
 A403 | 1/4" = 1'-0"

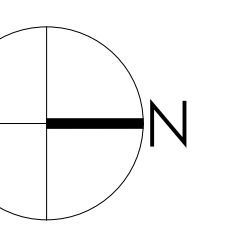


31 | 113 RAISED STORAGE - EAST  
 A403 | 1/4" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

REVISIONS		
No.	Description	Date

90% Legacy Grant Review



CHARLES THOMPSON MEMORIAL HALL  
 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY: [Name] DATE: 04.30.2021

INTERIOR ELEVATIONS

A403

LEGEND



SHEET NOTES

- PLEASE REFER TO SHEET G000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.
- REPAINTING WORK TO OCCUR IN EXISTING BUILDING. SEE FINISH SCHEDULE.
- REFER TO "WINDOW REHABILITATION SCHEDULE" FOR WORK ON EXISTING WINDOWS.

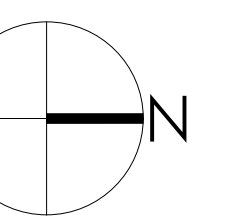
KEYNOTES

09-02	RESTORE PLASTER WALL. MATCH EXISTING TEXTURE AND FINISH PAINT.
-------	--

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

REVISIONS		
No.	Description	Date

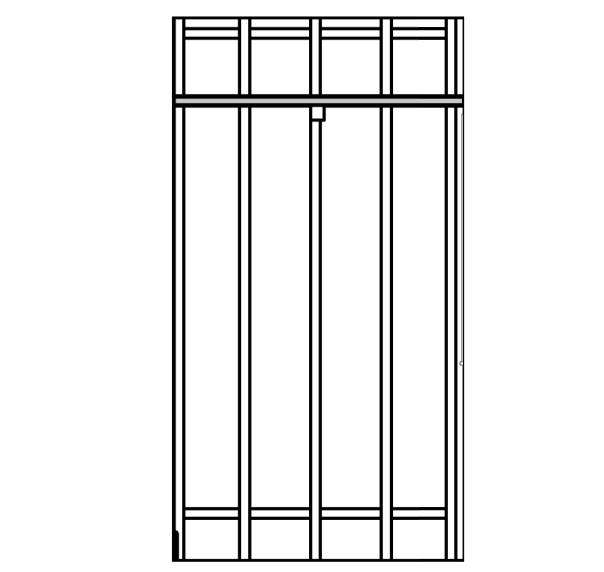
90% Legacy Grant Review



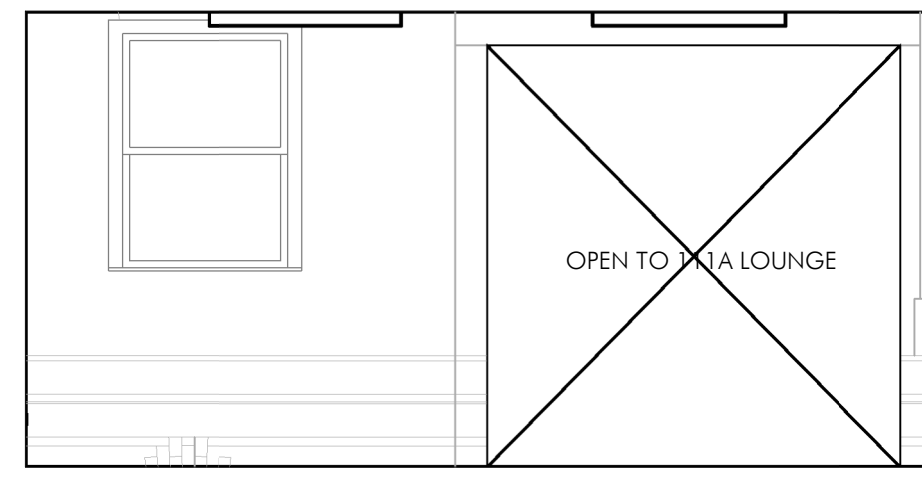
CHARLES THOMPSON MEMORIAL HALL  
 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY: [signature] DATE: 04.30.2021

INTERIOR ELEVATIONS

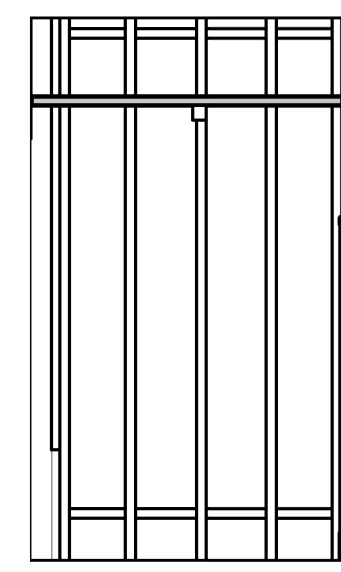
A404



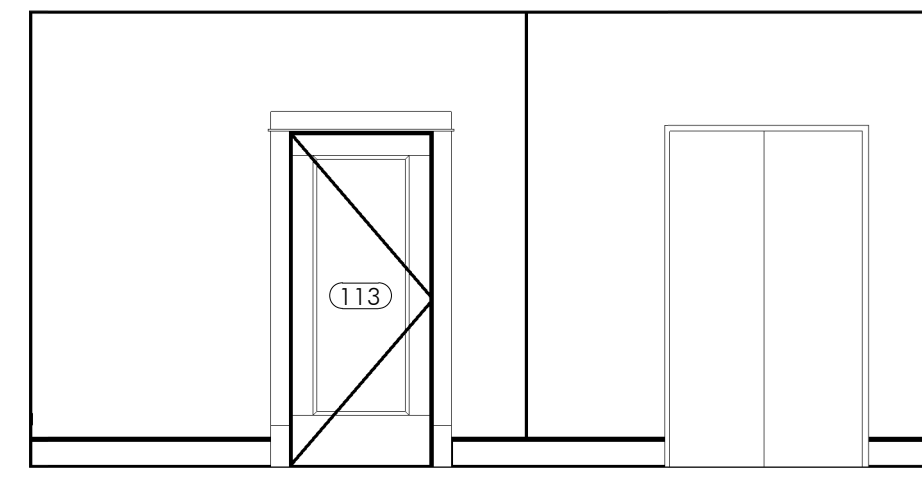
1 | 112 ELEVATOR LOBBY - NORTH  
 A404 | 1/4" = 1'-0"



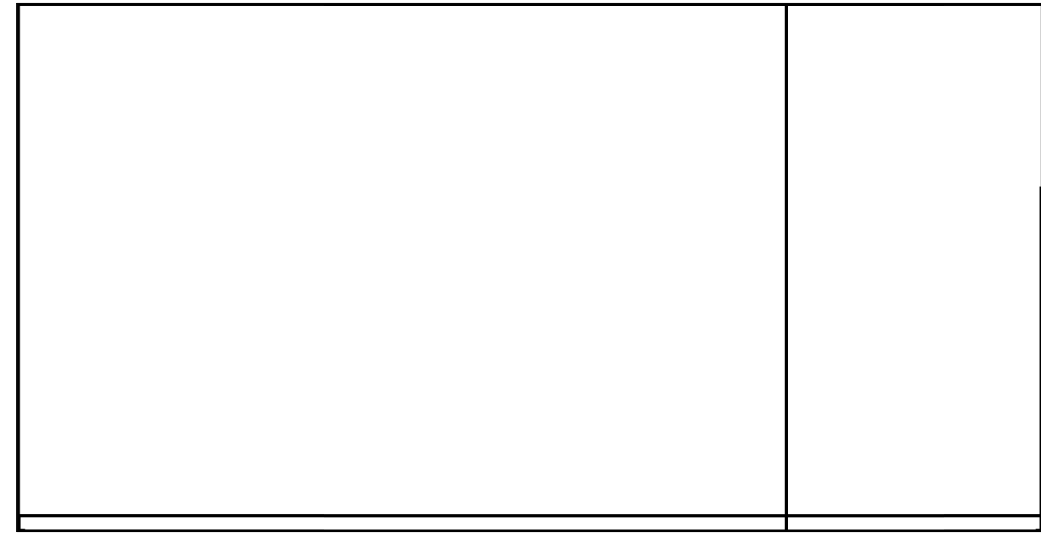
2 | 112 ELEVATOR LOBBY - EAST  
 A404 | 1/4" = 1'-0"



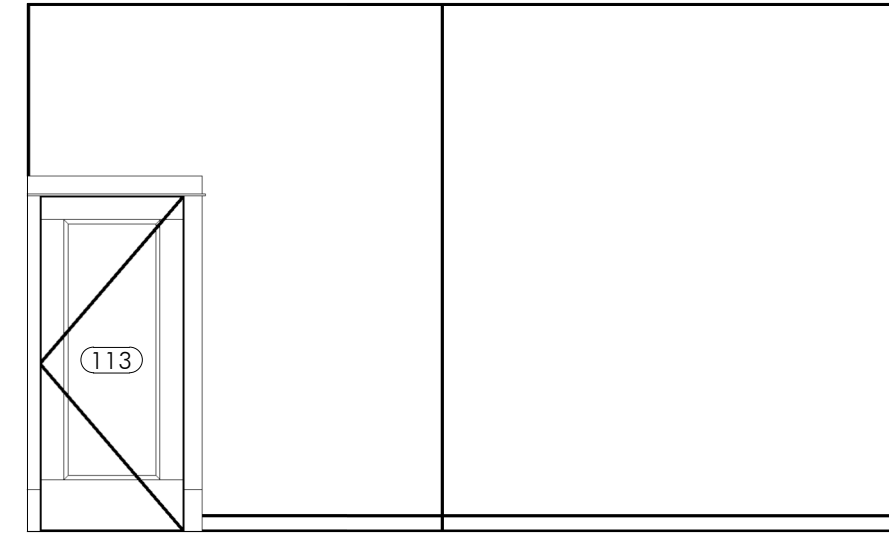
3 | 112 ELEVATOR LOBBY - SOUTH  
 A404 | 1/4" = 1'-0"



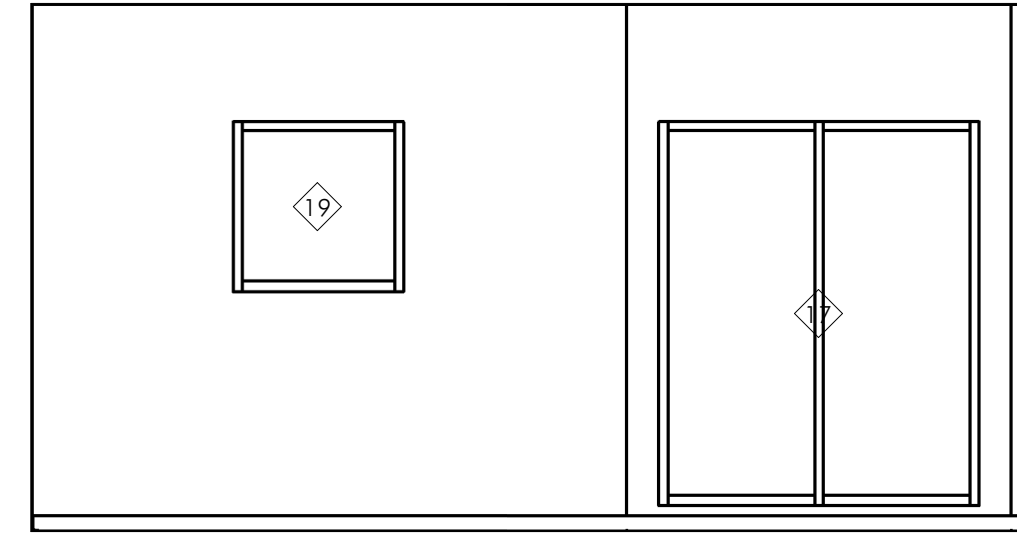
4 | 112 ELEVATOR LOBBY - WEST  
 A404 | 1/4" = 1'-0"



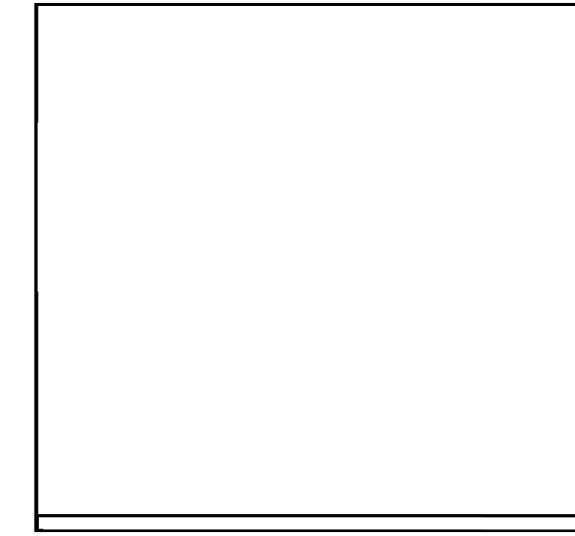
5 | 114 STORAGE - NORTH  
 A404 | 1/4" = 1'-0"



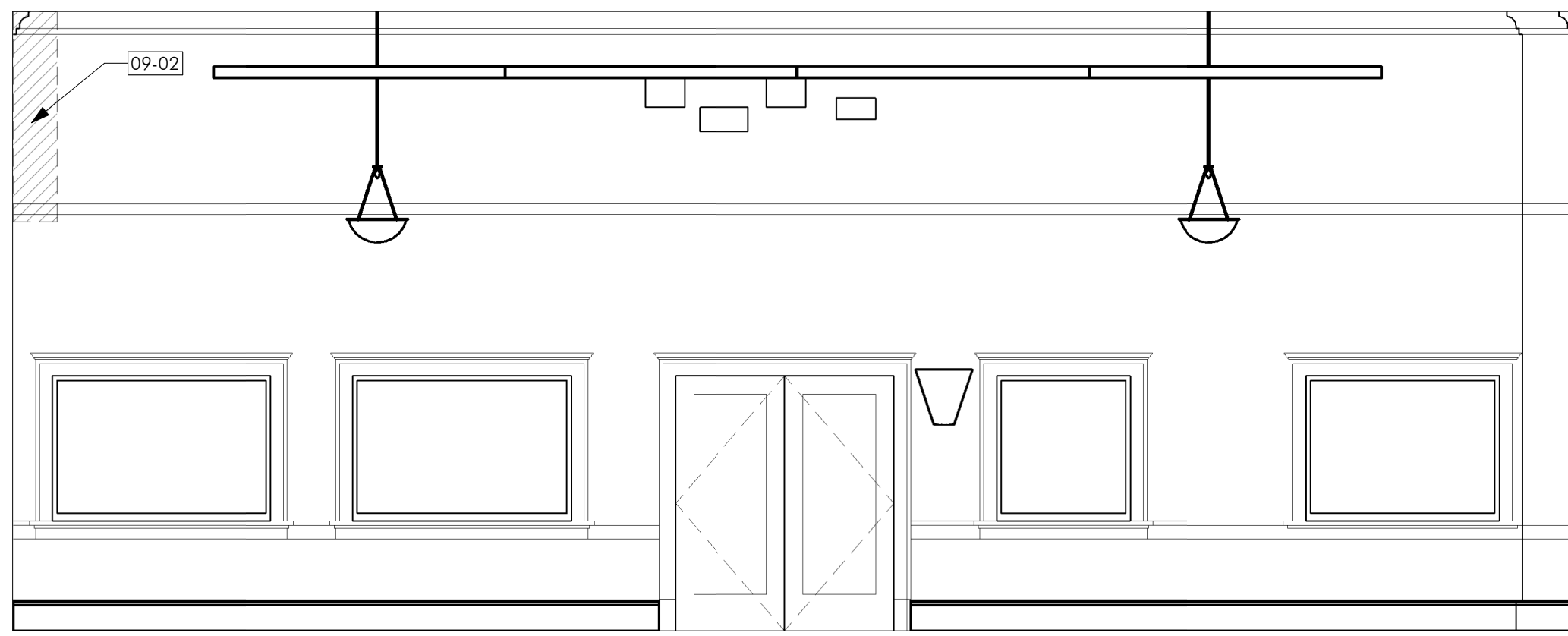
6 | 114 STORAGE - EAST  
 A404 | 1/4" = 1'-0"



7 | 114 STORAGE - SOUTH  
 A404 | 1/4" = 1'-0"



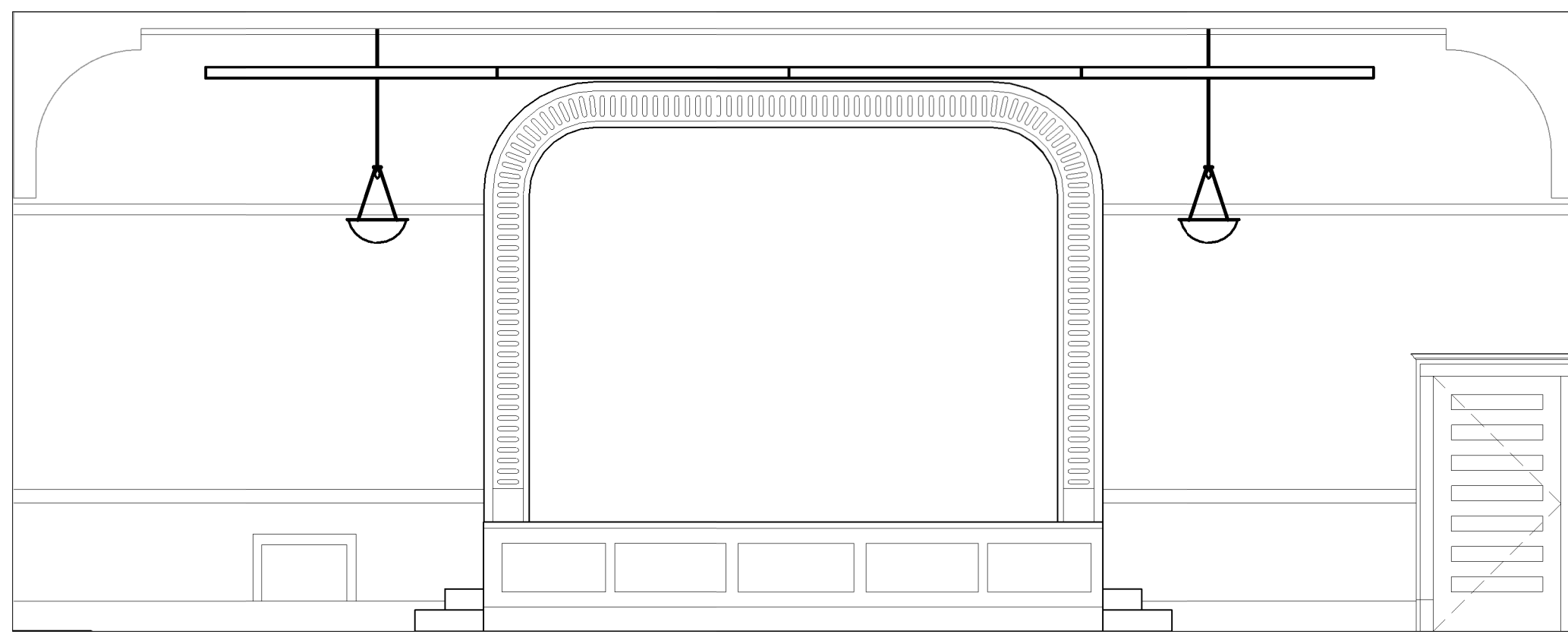
8 | 114 STORAGE - WEST  
 A404 | 1/4" = 1'-0"



9 | 204 ASSEMBLY HALL - NORTH  
 A404 | 1/4" = 1'-0"



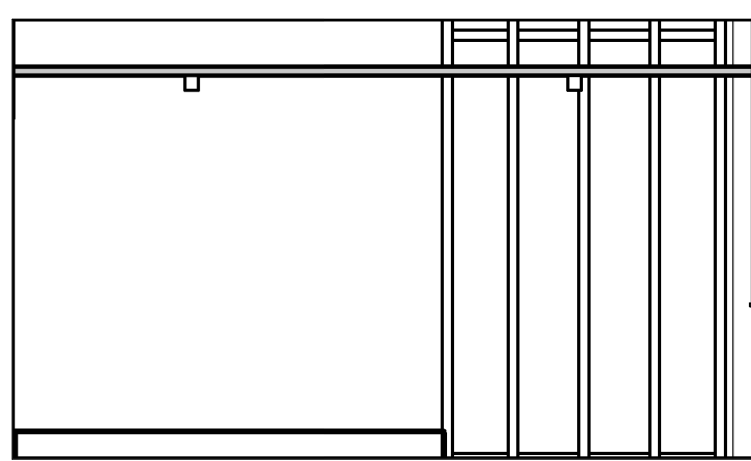
10 | 204 ASSEMBLY HALL - EAST  
 A404 | 1/4" = 1'-0"



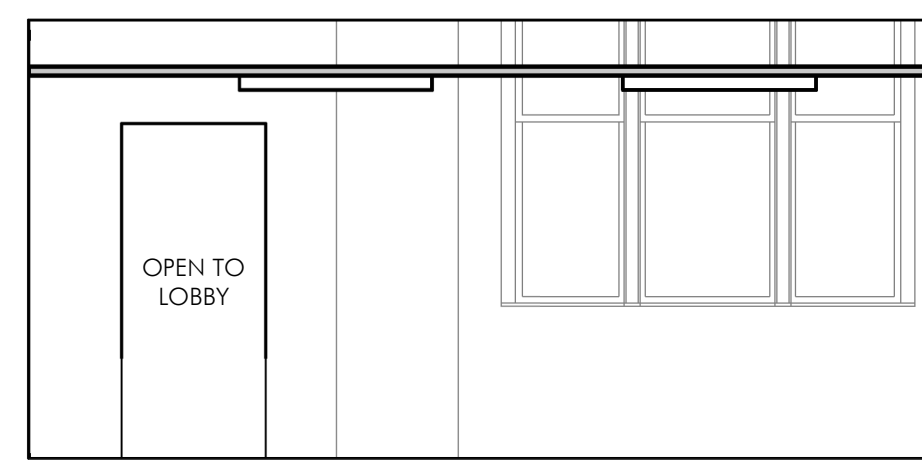
11 | 204 ASSEMBLY HALL - SOUTH  
 A404 | 1/4" = 1'-0"



12 | 204 ASSEMBLY HALL - WEST  
 A404 | 1/4" = 1'-0"



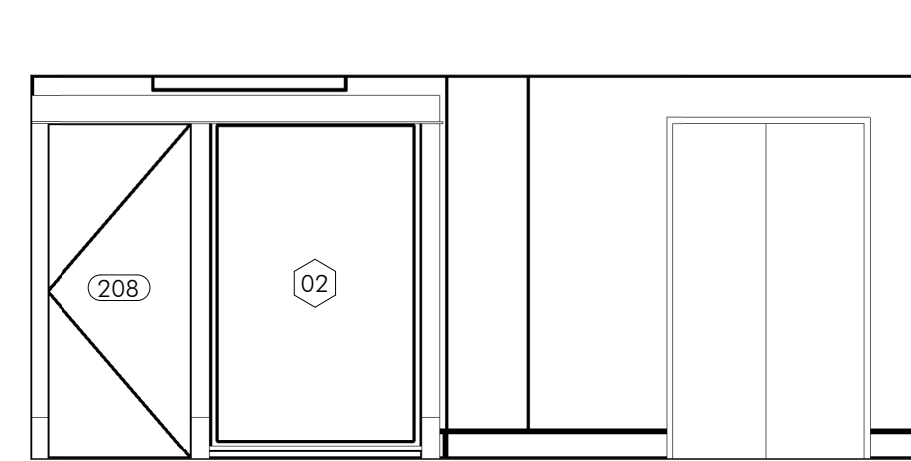
13 | 206 ELEVATOR LOBBY - NORTH  
 A404 | 1/4" = 1'-0"



14 | 206 ELEVATOR LOBBY - EAST  
 A404 | 1/4" = 1'-0"



15 | 206 ELEVATOR LOBBY - SOUTH  
 A404 | 1/4" = 1'-0"

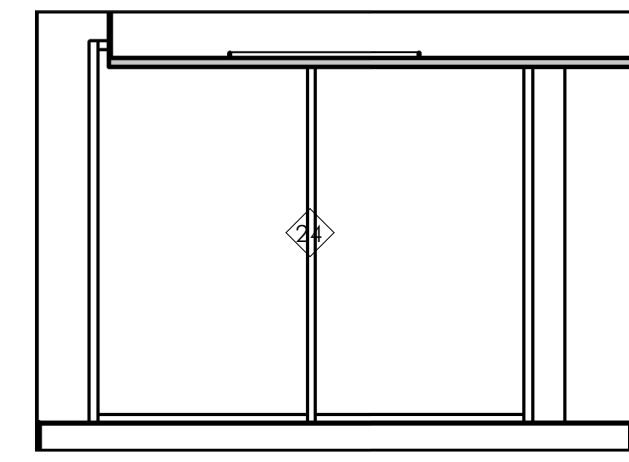


16 | 206 ELEVATOR LOBBY - WEST  
 A404 | 1/4" = 1'-0"

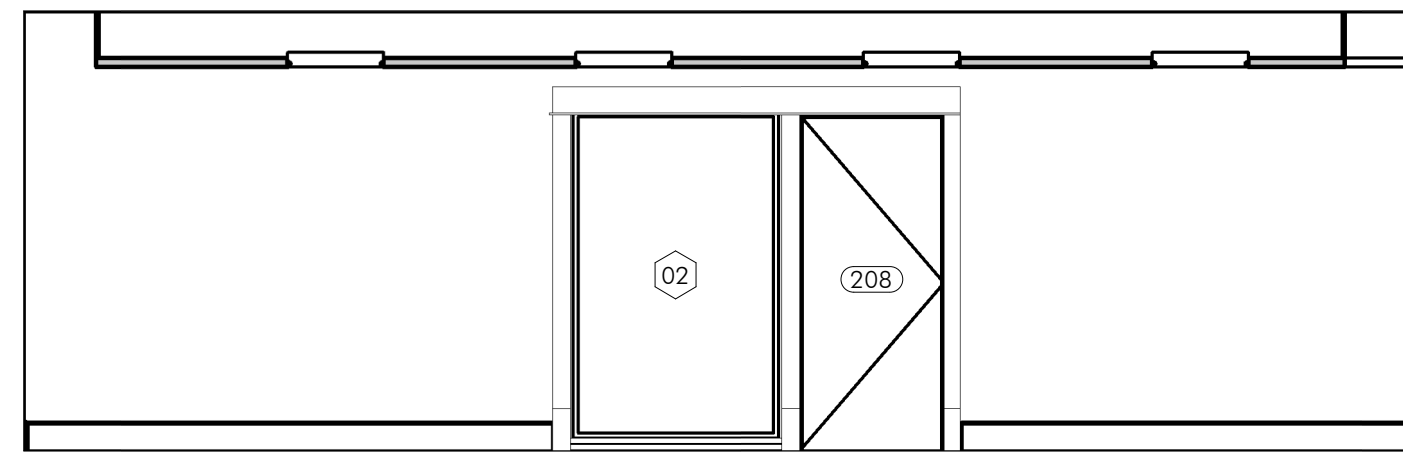
LEGEND

SHEET NOTES

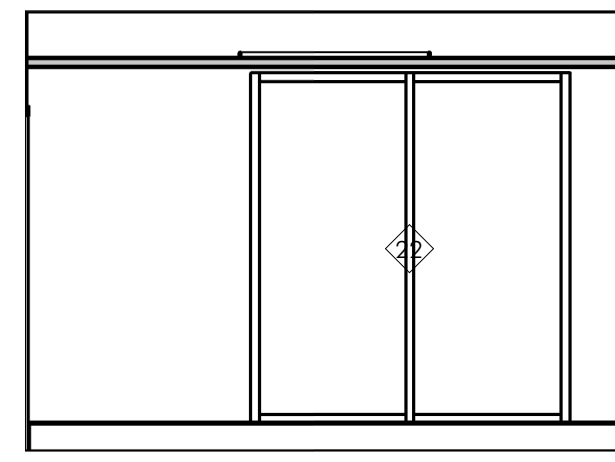
1. PLEASE REFER TO SHEET G000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.
2. REPAINTING WORK TO OCCUR IN EXISTING BUILDING. SEE FINISH SCHEDULE.
3. REFER TO "WINDOW REHABILITATION SCHEDULE" FOR WORK ON EXISTING WINDOWS.



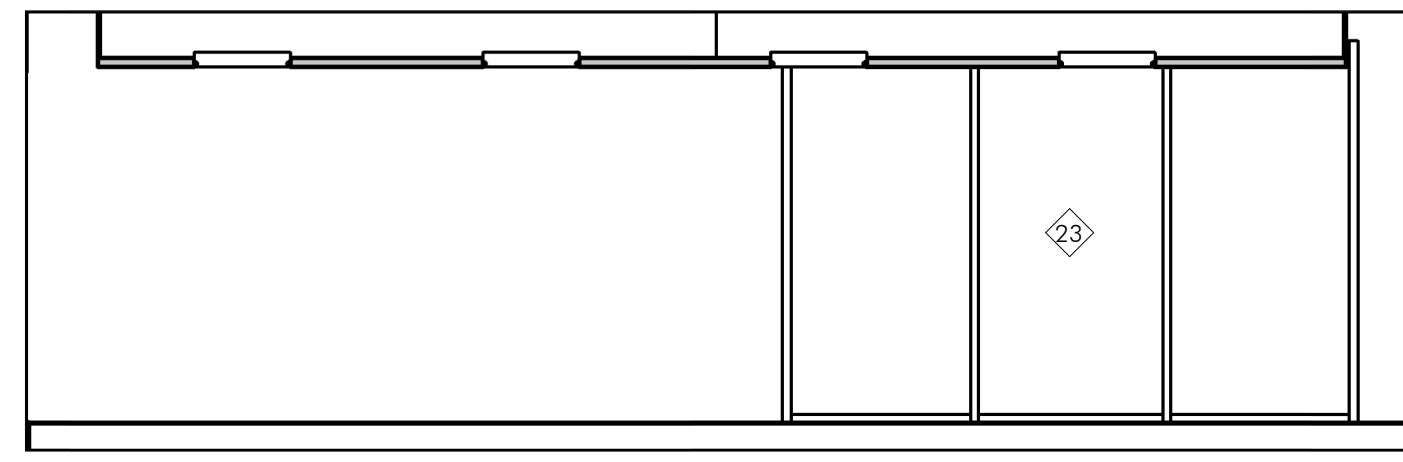
1 | 208 MEETING ROOM - NORTH  
A405 | 1/4" = 1'-0"



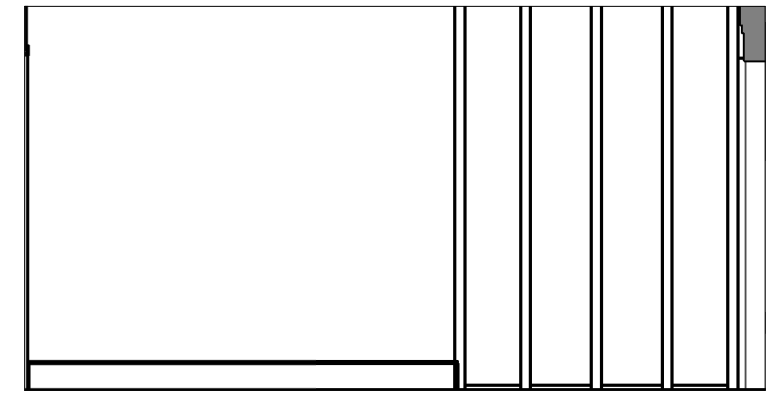
2 | 208 MEETING ROOM - EAST  
A405 | 1/4" = 1'-0"



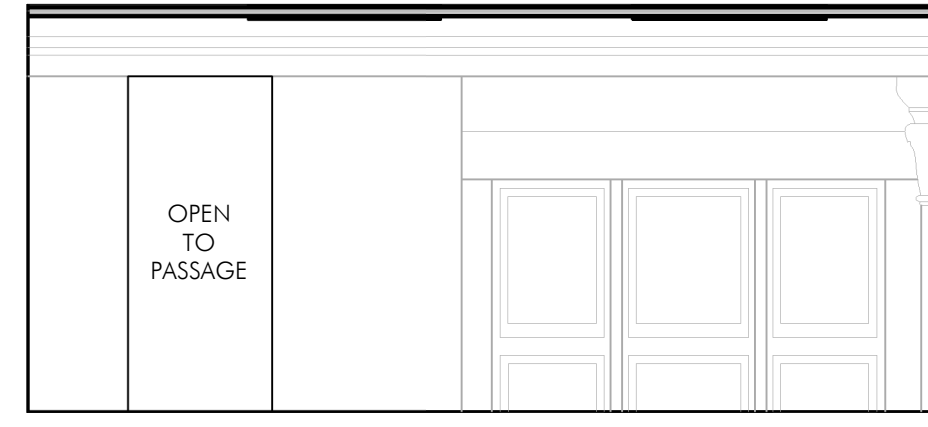
3 | 208 MEETING ROOM - SOUTH  
A405 | 1/4" = 1'-0"



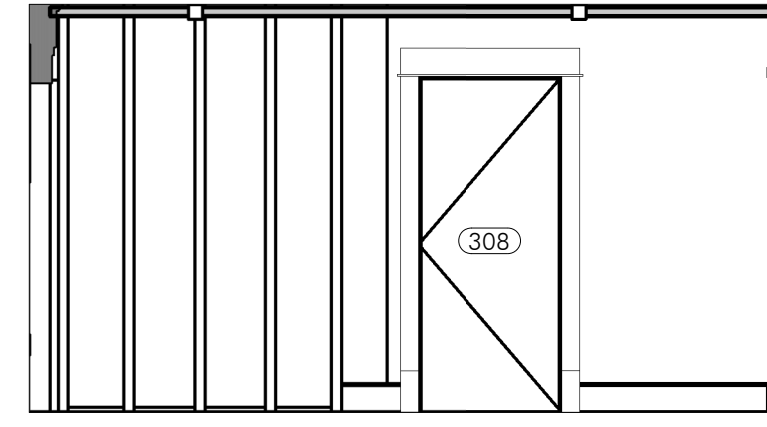
4 | 208 MEETING ROOM - WEST  
A405 | 1/4" = 1'-0"



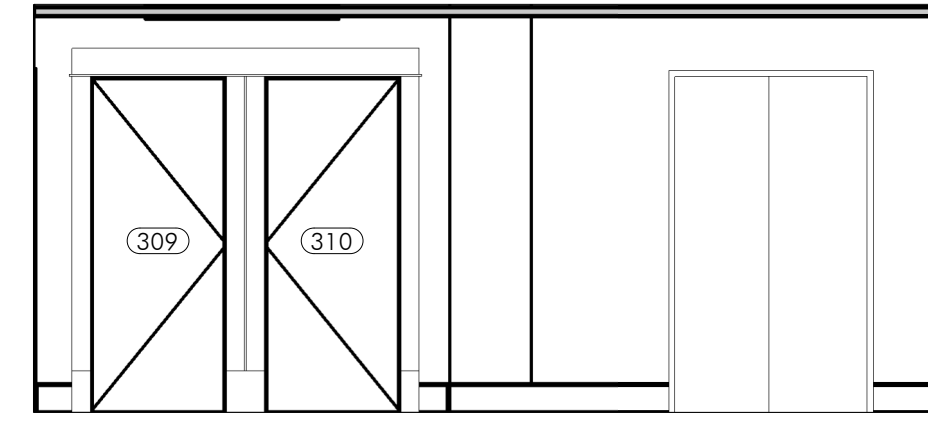
5 | 307 ELEVATOR LOBBY - NORTH  
A405 | 1/4" = 1'-0"



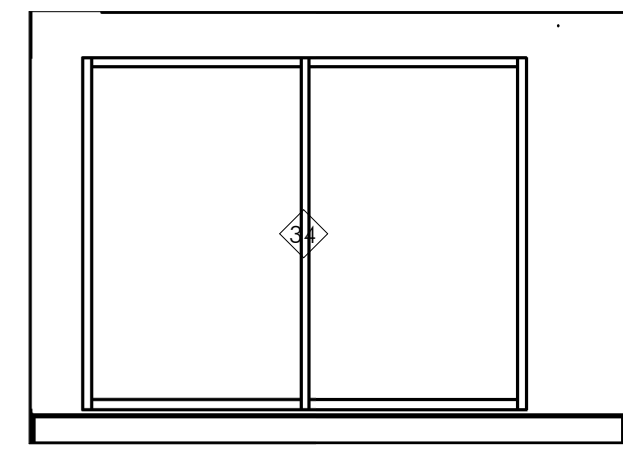
6 | 307 ELEVATOR LOBBY - EAST  
A405 | 1/4" = 1'-0"



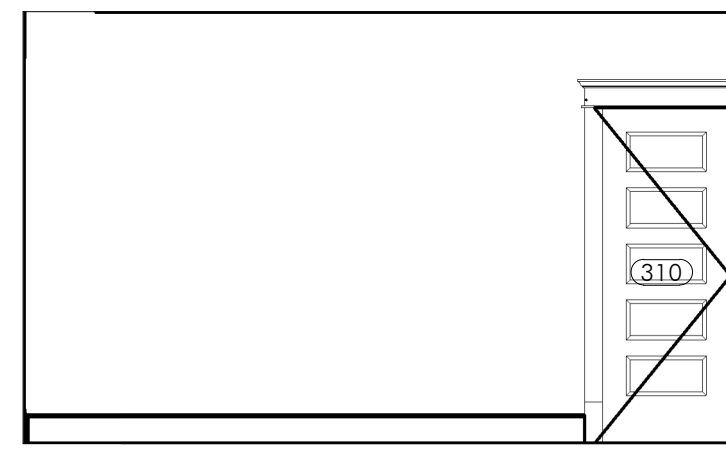
7 | 307 ELEVATOR LOBBY - SOUTH  
A405 | 1/4" = 1'-0"



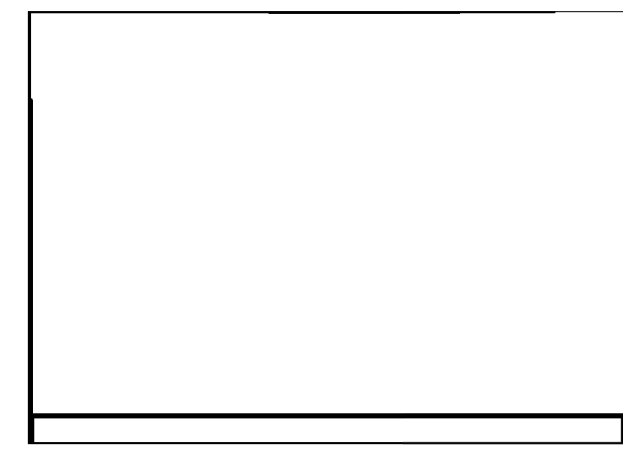
8 | 307 ELEVATOR LOBBY - WEST  
A405 | 1/4" = 1'-0"



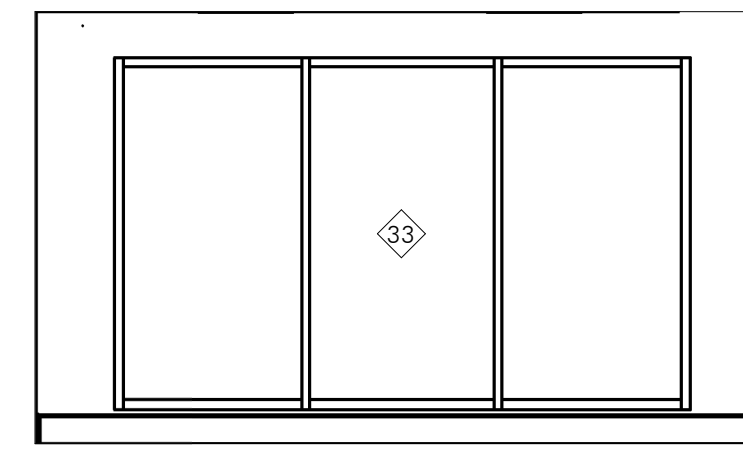
9 | 310 OFFICE - NORTH  
A405 | 1/4" = 1'-0"



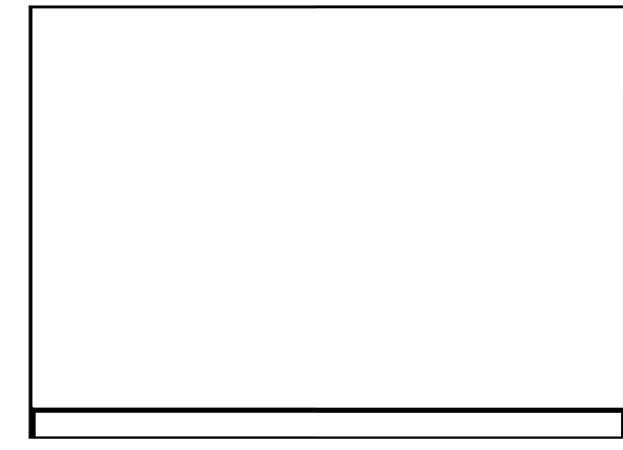
10 | 310 OFFICE - EAST  
A405 | 1/4" = 1'-0"



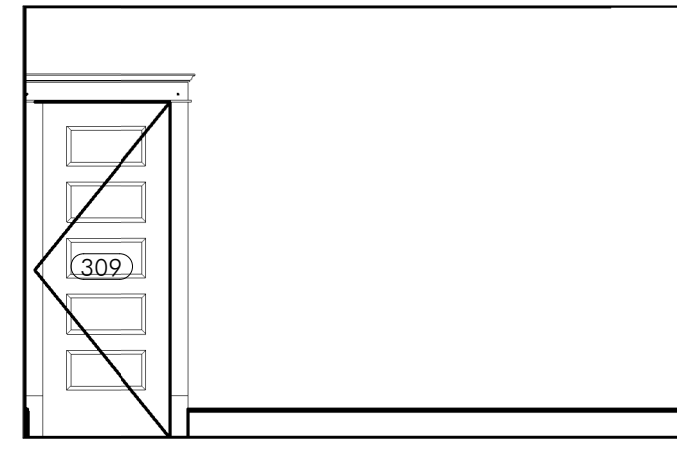
11 | 310 OFFICE - SOUTH  
A405 | 1/4" = 1'-0"



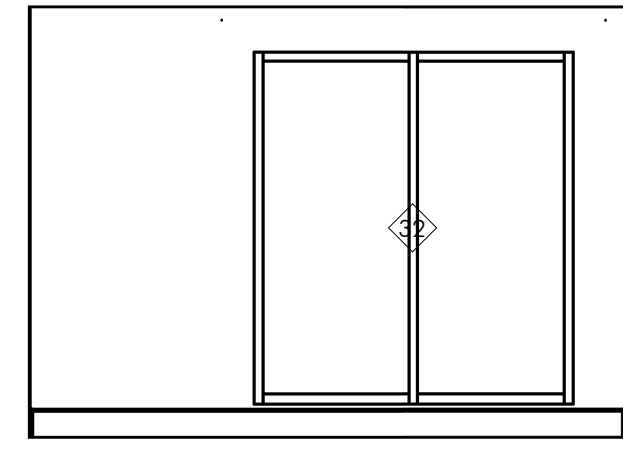
12 | 310 OFFICE - WEST  
A405 | 1/4" = 1'-0"



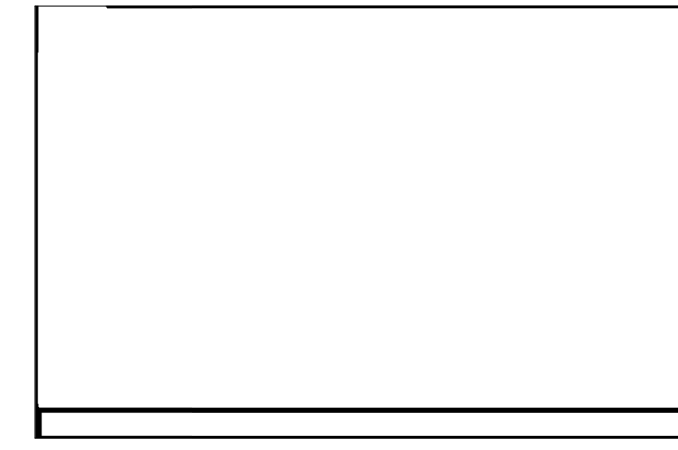
13 | 309 OFFICE - NORTH  
A405 | 1/4" = 1'-0"



14 | 309 OFFICE - EAST  
A405 | 1/4" = 1'-0"



15 | 309 OFFICE - SOUTH  
A405 | 1/4" = 1'-0"



16 | 309 OFFICE - WEST  
A405 | 1/4" = 1'-0"

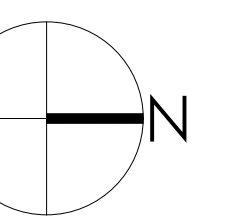
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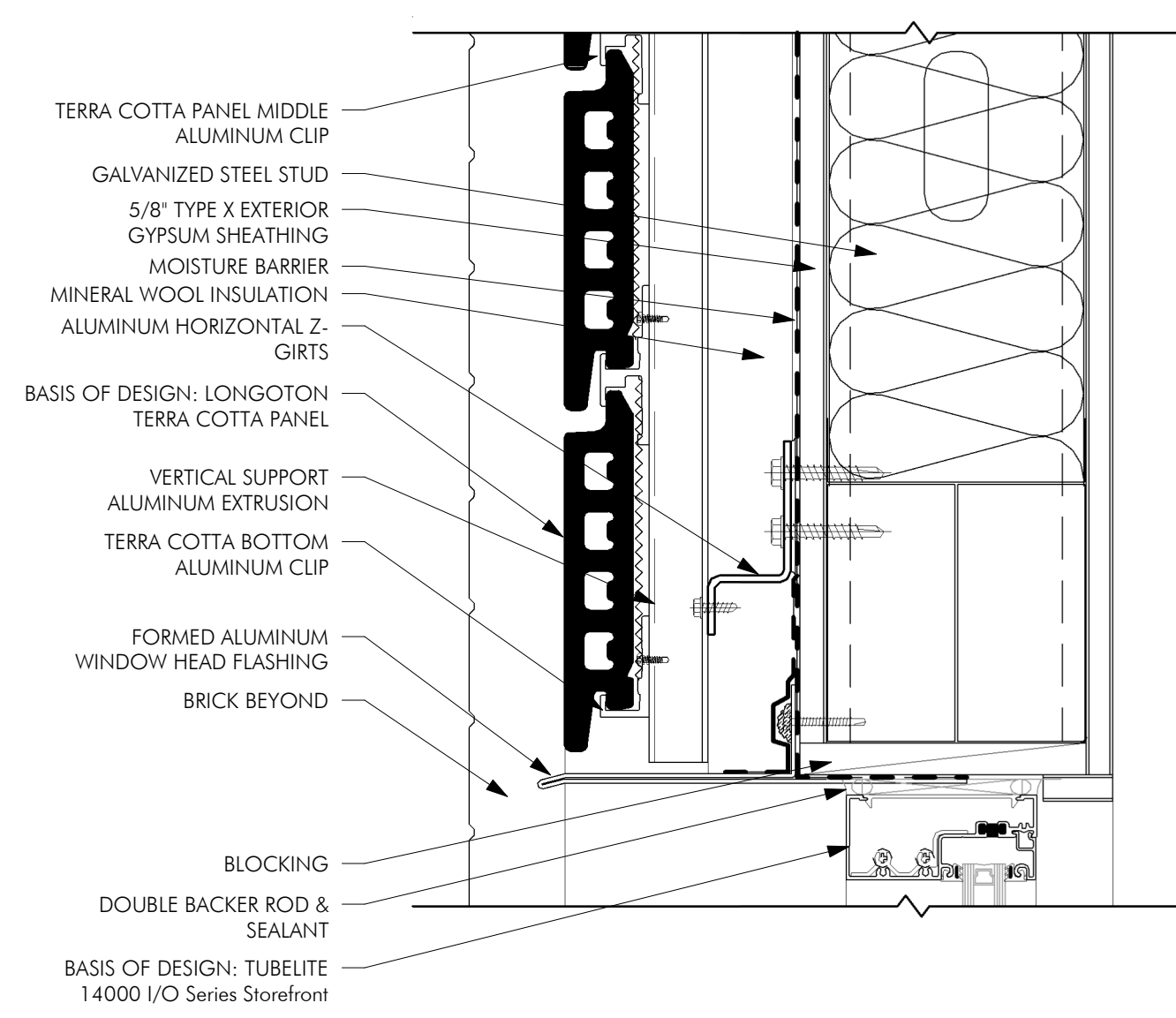
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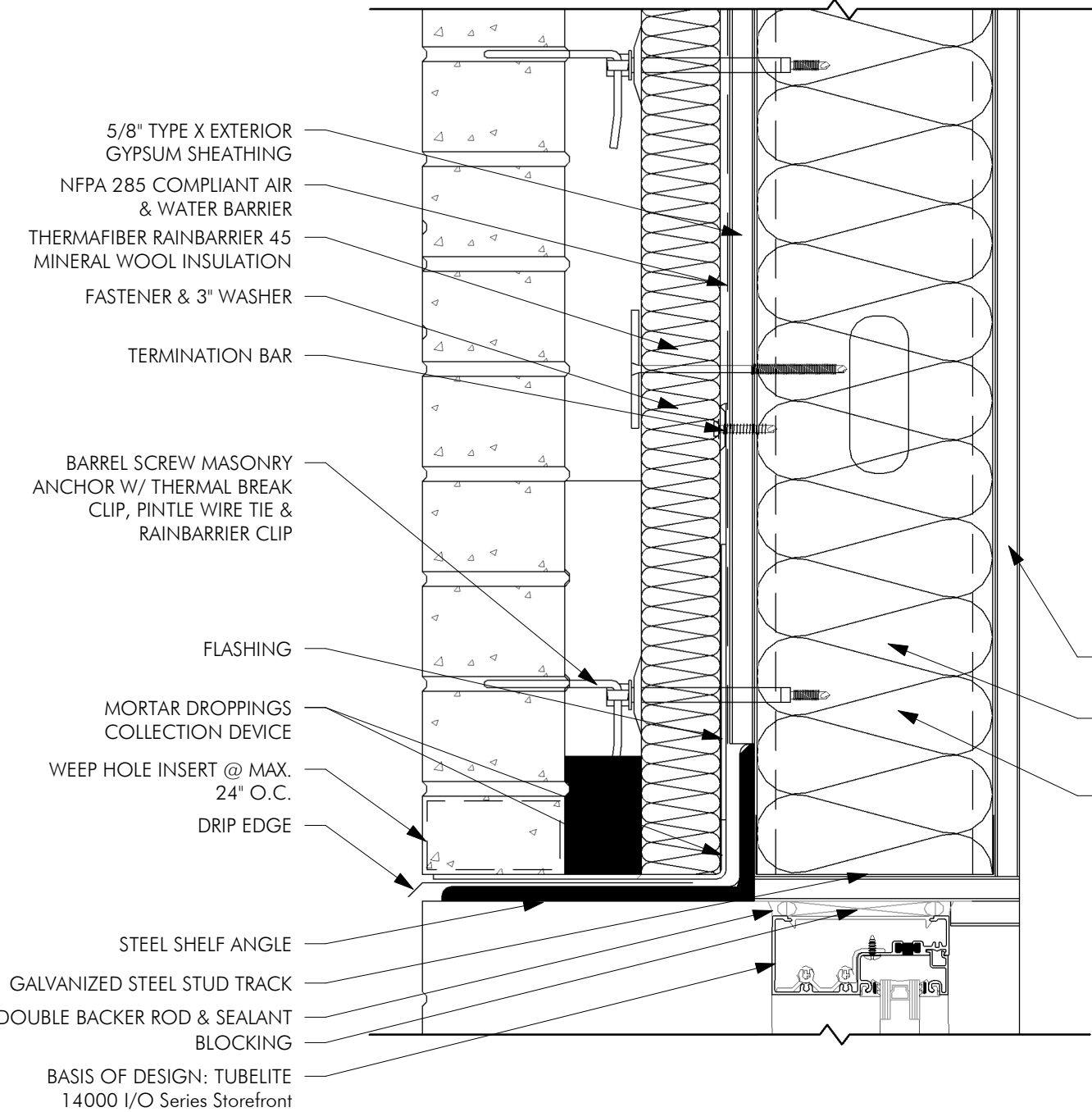
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No.	Description	Date

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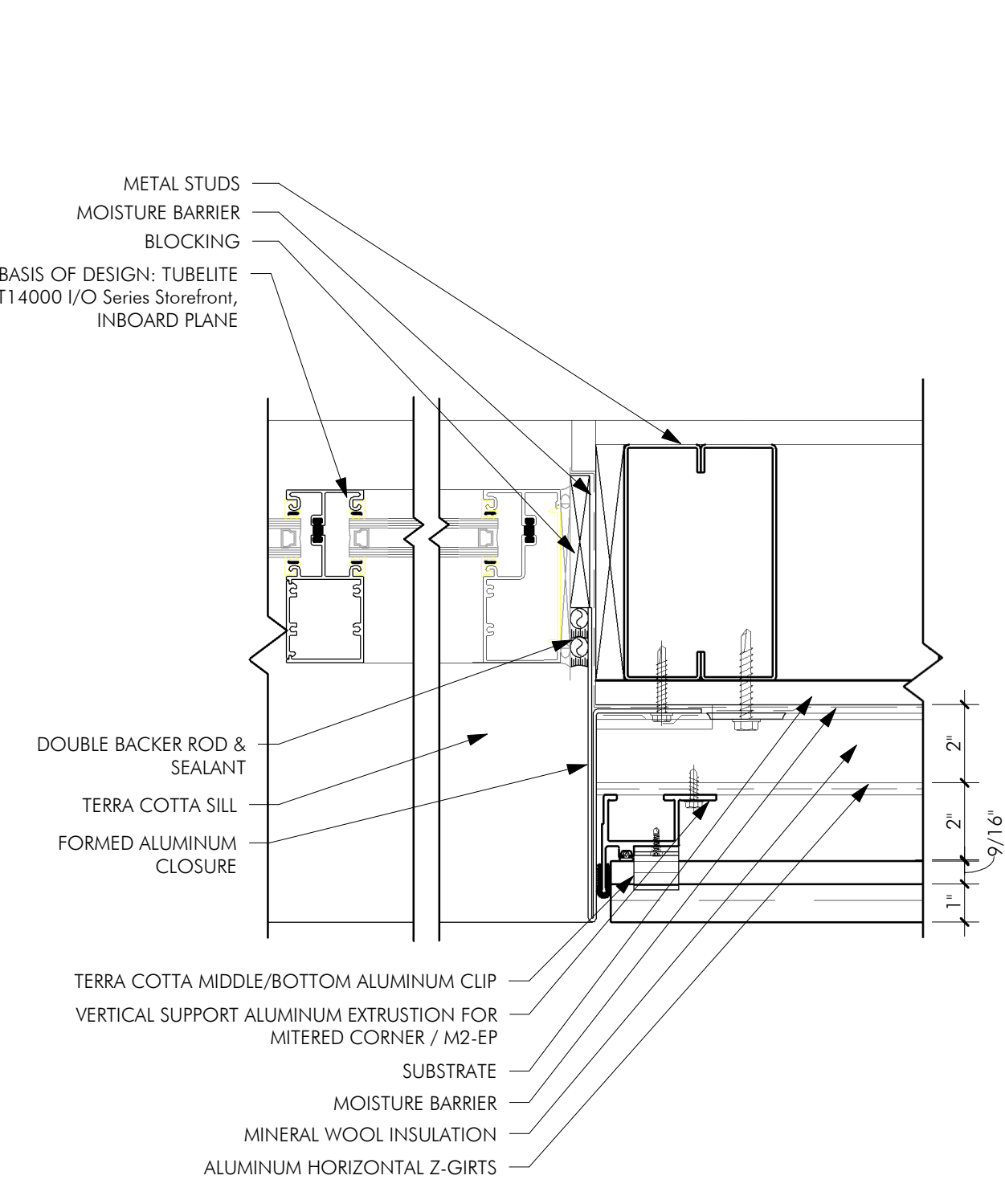




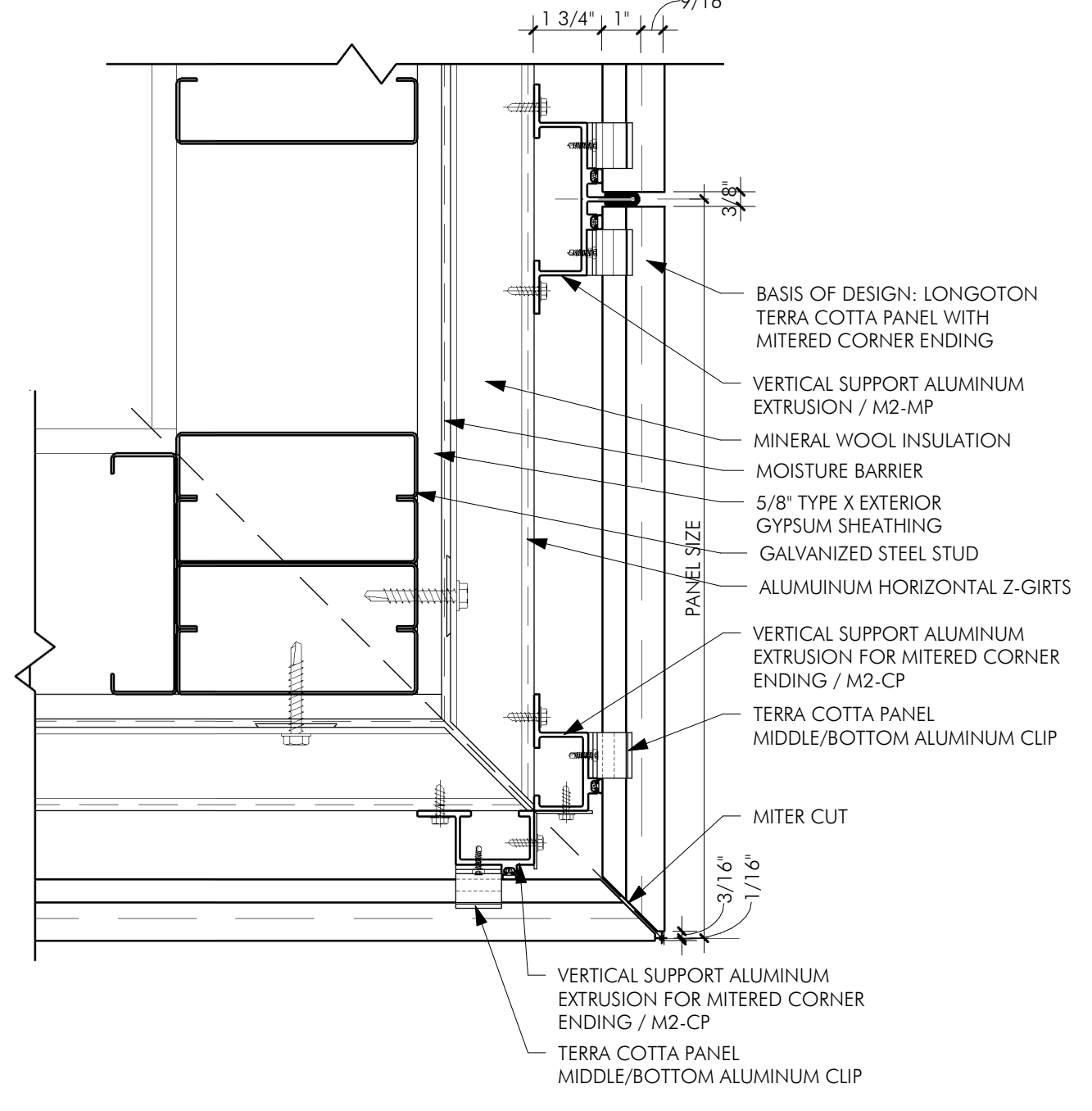
1 NEW WINDOW HEAD - TERRA COTTA, TYP  
 A501 3" = 1'-0"



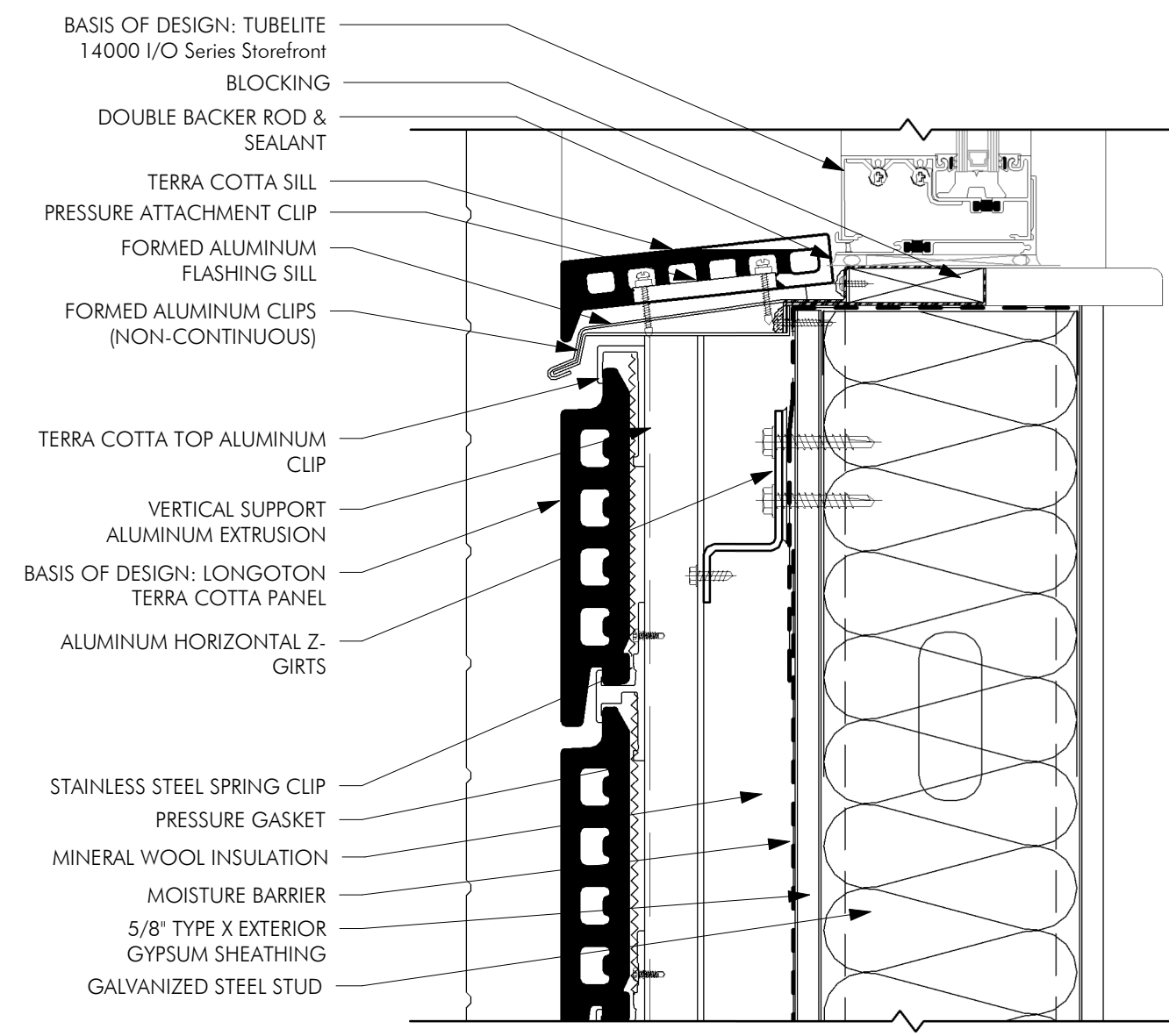
4 NEW WINDOW HEAD - BRICK, TYP  
 A501 3" = 1'-0"



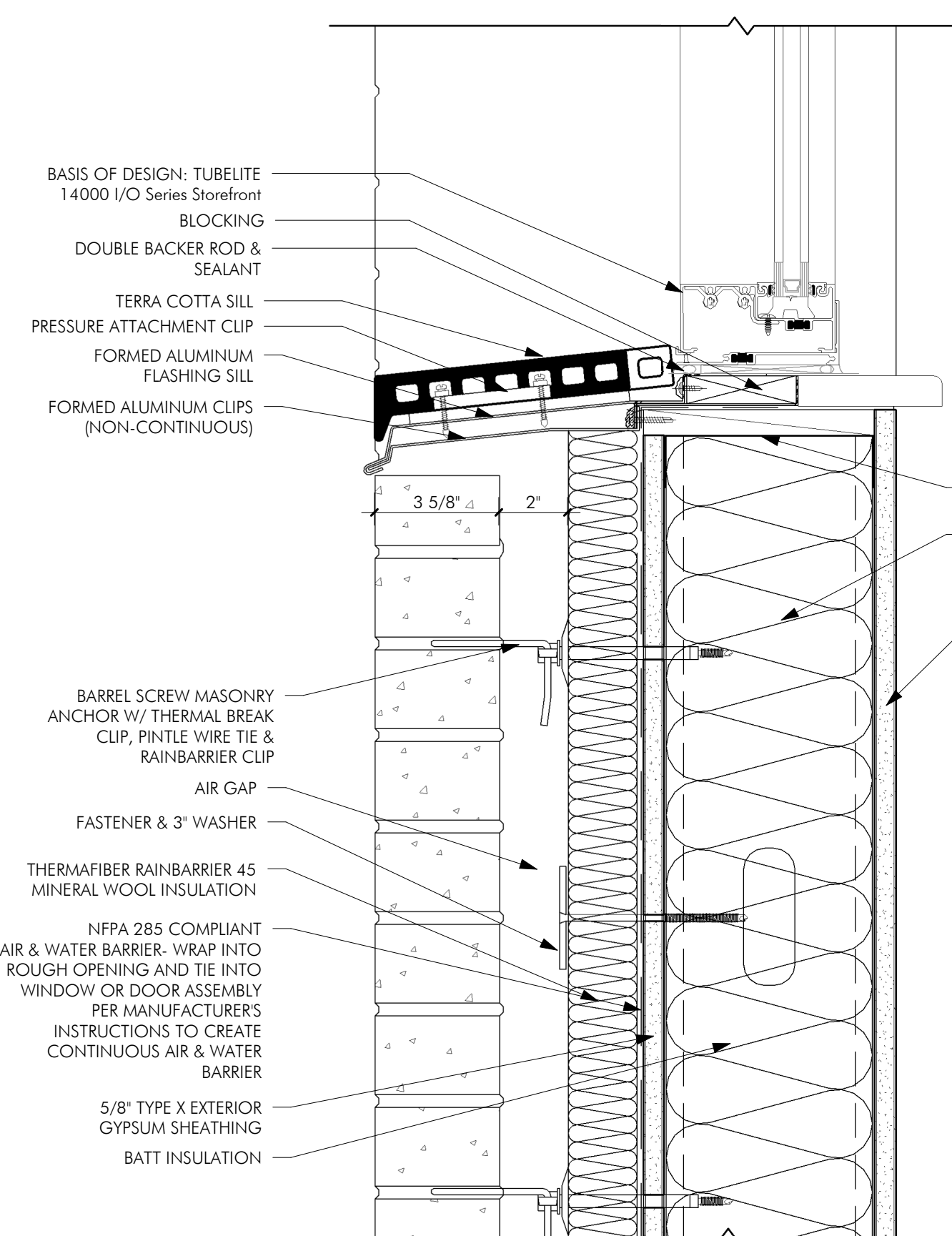
7 NEW WINDOW JAMB - TERRA  
 A501 3" = 1'-0"



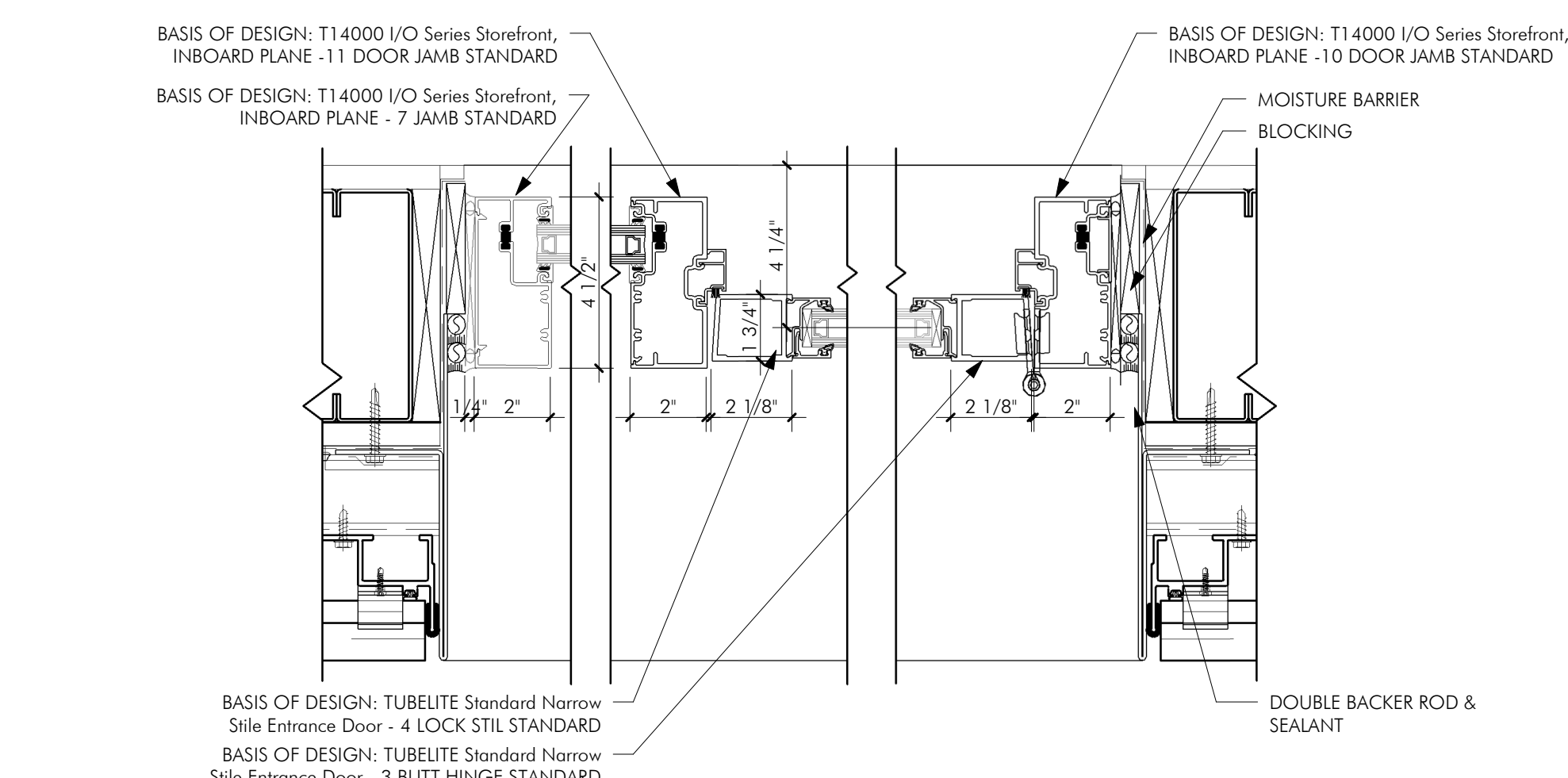
8 TERRA COTTA CLADDING - OUTSIDE CORNER  
 A501 3" = 1'-0"



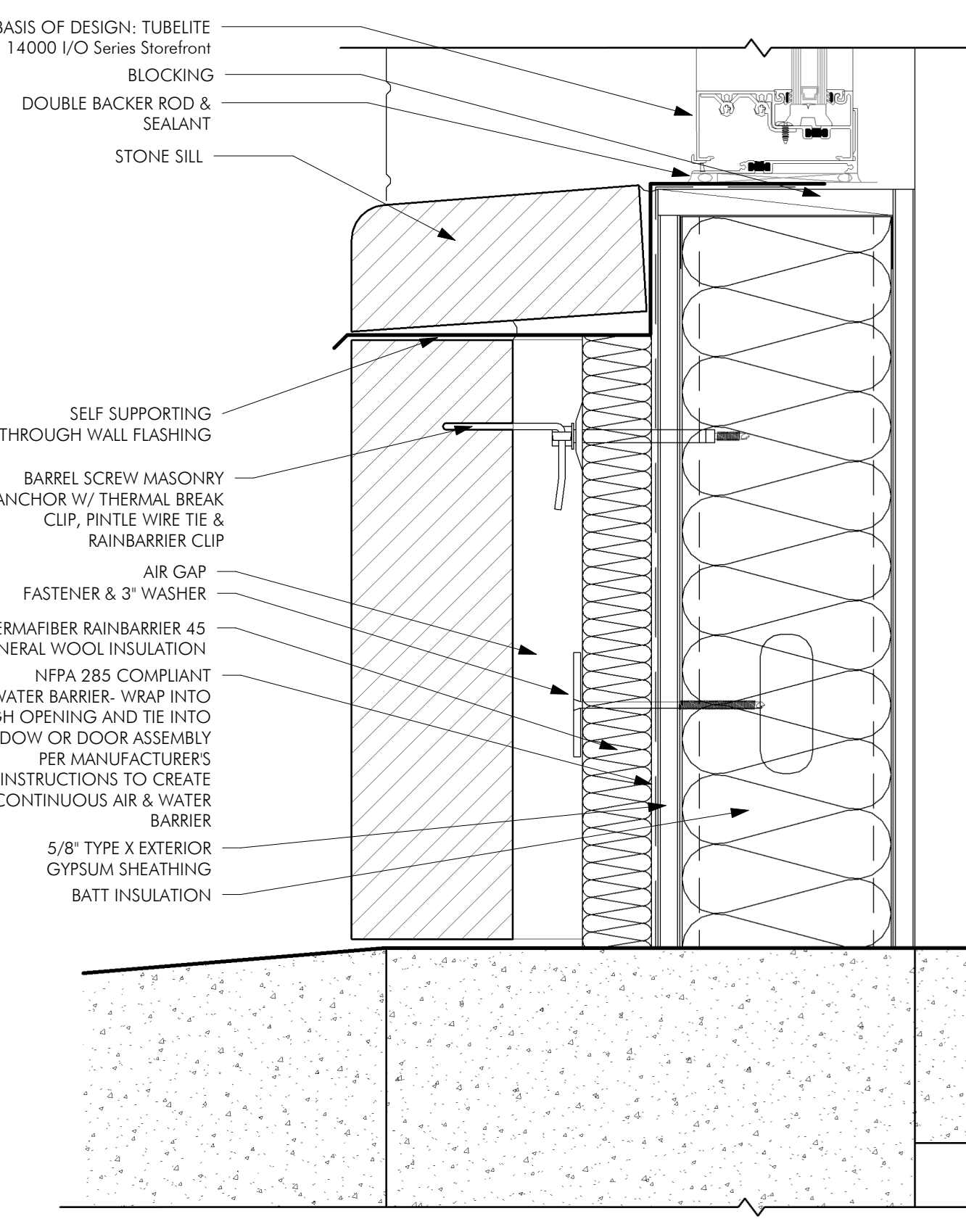
2 NEW WINDOW SILL - TERRA COTTA, TYP  
 A501 3" = 1'-0"



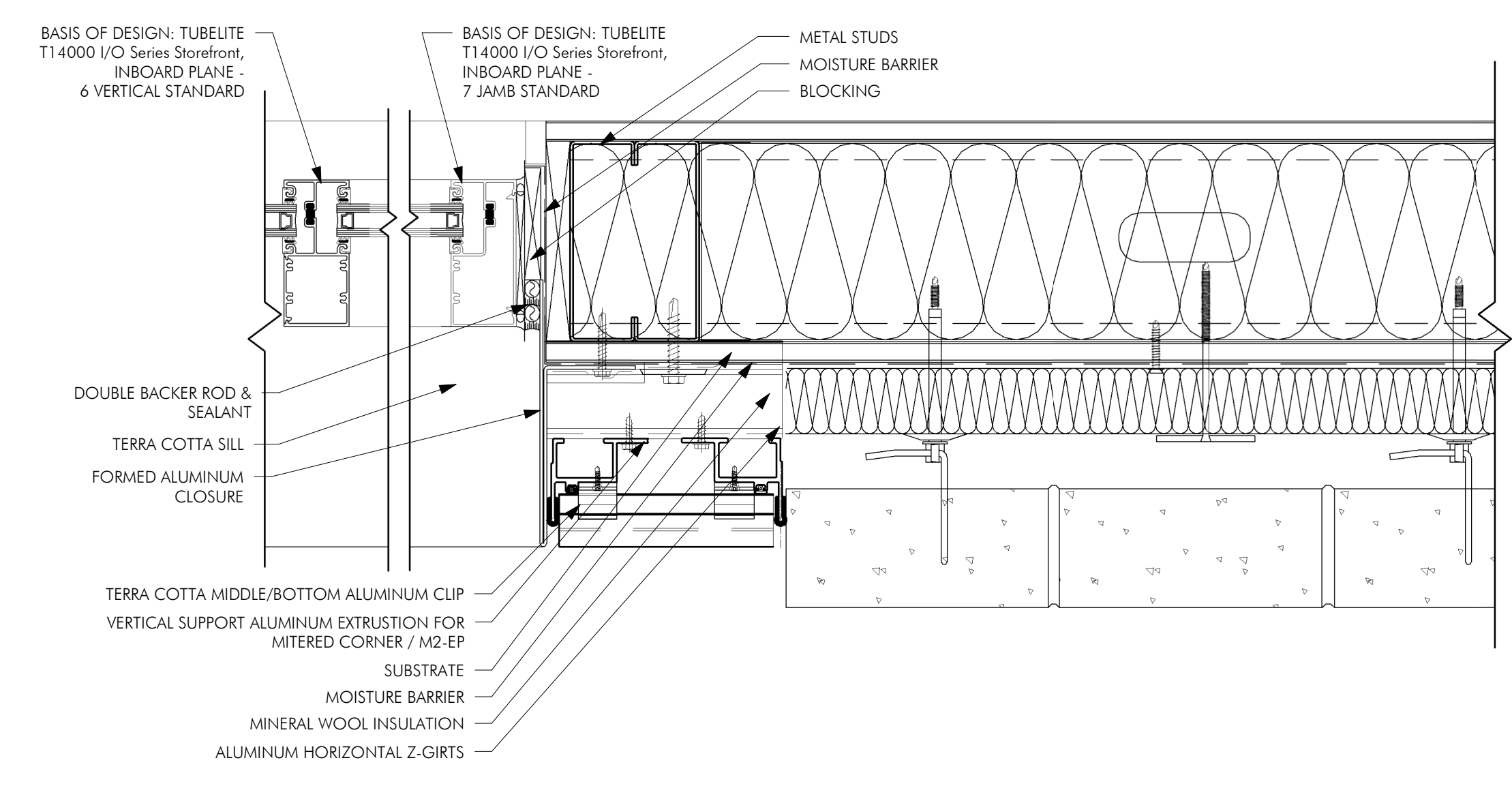
5 NEW WINDOW SILL - BRICK  
 A501 3" = 1'-0"



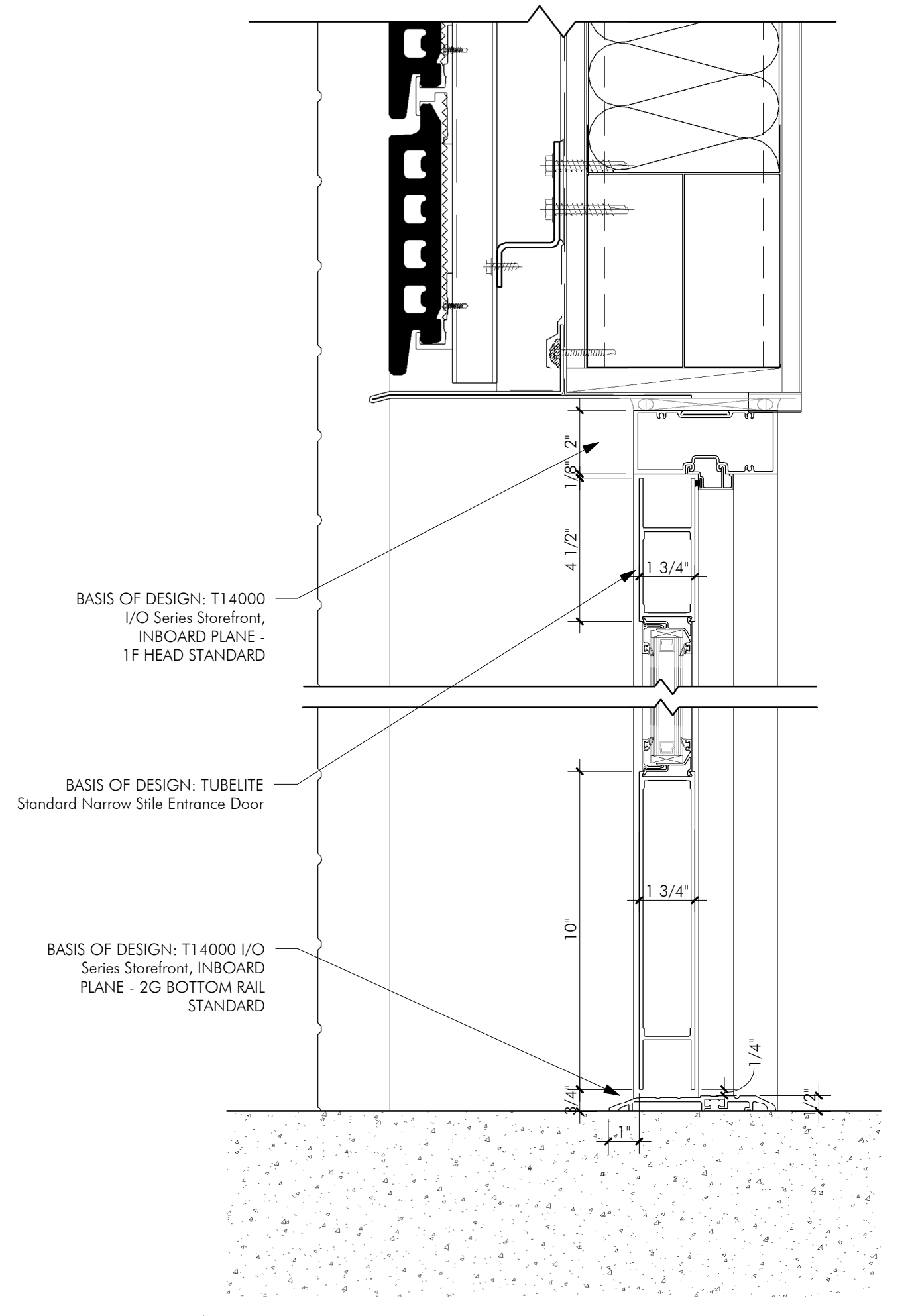
10 NEW DOOR WINDOW JAMB, SIDELITE PLAN  
 A501 3" = 1'-0"



3 NEW WINDOW SILL - STONE  
 A501 3" = 1'-0"



6 NEW WINDOW JAMB - TERRA/BRICK  
 A501 3" = 1'-0"



9 NEW ENTRANCE DOOR HEAD  
 A501 3" = 1'-0"

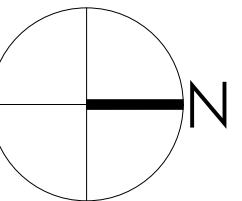
KEYNOTES

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CHARLES THOMPSON MEMORIAL HALL  
 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY: [Signature] DATE: 04.30.2021

DETAILS - ADDITION

A501

SHEET NOTES

- LOWER LEVEL TILE FLOORS CONTAIN ASBESTOS AND ARE TO BE REMEDIATED AND REMOVED BEFORE NEW TILE FINISH FLOOR INSTALLATION.
- REPAINTING OF EXISTING ROOMS IS INCLUDED IN FINISH SCHEDULE. PER ROOM IF NO PAINT COLOR SELECTED, NO PAINTING WORK IS INCLUDED.

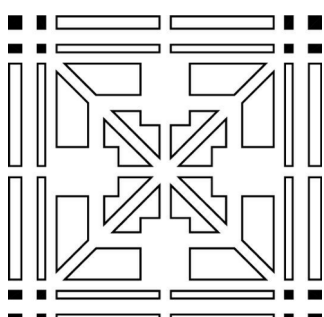
FINISH SCHEDULE																					
ROOM NO.	ROOM NAME	FLOORS				NORTH WALL			EAST WALL			SOUTH WALL			WEST WALL			CEILING			NOTES
		CONDITION	MATERIAL	FINISH	BASE	CONDITION	MATERIALS	FINISH	CONDITION	MATERIAL	FINISH	CONDITION	MATERIALS	FINISH	CONDITION	MATERIALS	FINISH	CONDITION	MATERIALS	FINISH	
00 LOWER LEVEL																					
001	LOBBY	EXIST/NEW	CONC	VT-1	PB-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST/ALTER	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-2	
002	KITCHEN	EXIST/NEW	CONC	VT-1	PB-1	EXIST/NEW	PST/PGYP	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-2	
003	LOBBY (BILLIARD ROOM)	EXIST/NEW	CONC	VT-1	PB-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST/NEW	PST	ACT-2	
006	HALLWAY	EXIST/NEW	CONC	VT-1	PB-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-2	
008	MEN'S TOILET ROOM	NEW	CONC	CT-2	CT-3	EXIST/NEW	PST/PGYP	CT-1, PT-3	EXIST/ALTER	PST	CT-1, P-3	EXIST/ALTER	PST	CT-1, P-3	EXIST/ALTER	PST	CT-1, P-3	EXIST	PST	PT-2	SEE ELEVS FOR WALL FINISH DIMENSIONS.
009	WOMEN'S TOILET ROOM	NEW	CONC	CT-2	CT-3	EXIST/ALTER	PST	CT-1, PT-3	EXIST/ALTER	PST	CT-1, P-3	EXIST/ALTER	PST	CT-1, P-3	EXIST/ALTER	PST	CT-1, P-3	EXIST	PST	PT-2	SEE ELEVS FOR WALL FINISH DIMENSIONS.
010	PASSAGE	EXIST/NEW	CONC	VT-1	PB-1	EXIST/ALTER	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST/ALTER	PST	PT-1	EXIST	PST	PT-2	
011	LOUNGE	EXIST/NEW	CONC	VT-1	PB-1	EXIST/ALTER	PST	PT-1	EXIST/ALTER	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-2	
012	LOWER LOBBY	NEW	CONC	VT-2	WB-2	NEW	GYP/CW	PT-1	EXIST/ALTER	-	PT-1	NEW	GYP/CW	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-2	
013	LOBBY	NEW	CONC	VT-2	WB-2	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-2	
014	VESTIBULE	NEW	CONC	VT-2	WB-2	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-2	
015	OUTDOOR EQUIP. STORAGE	NEW	CONC	-	-	NEW	-	PT-1	NEW	-	PT-1	NEW	-	PT-1	NEW	-	PT-1	NEW	GYP	-	SEAL CONCRETE FLOOR.
01 FIRST FLOOR																					
103	SOCIAL HALL & DINING ROOM	EXIST	-	-	-	EXIST	-	-	EXIST	-	PT-1	EXIST	-	-	EXIST	-	-	EXIST	PST	PT-2	
108	RESTROOM	EXIST/NEW	CONC	CT-2	CT-3	NEW	PGYP	CT-1, PT-3	NEW	PGYP	CT-1, P-3	EXIST/ALTER	PGYP	CT-1, P-3	EXIST/ALTER	PST	CT-1, P-3	EXIST	PST	PT-2	SEE ELEVS FOR WALL FINISH DIMENSIONS.
109	FAMILY RESTROOM	EXIST/NEW	CONC	CT-2	CT-3	NEW	PGYP	CT-1, PT-3	NEW	PGYP	CT-1, P-3	EXIST/ALTER	PGYP	CT-1, P-3	EXIST/ALTER	PST	CT-1, P-3	EXIST	PST	PT-2	SEE ELEVS FOR WALL FINISH DIMENSIONS.
110	OFFICE	EXIST/ATER	CONC	CPT-1	WB-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	EXIST/ALTER	PST	PT-1	EXIST	PST	PT-2	
111A	LOUNGE	EXIST/ATER	CONC	WD-1	WB-1	EXIST	PST	PT-1	EXIST	PST	PT-1	NEW	GYP	PT-1	EXIST/ALTER	PST	PT-1	EXIST	PST	PT-2	SEE RCP FOR NEW ACT-1.
111B	HALL	EXIST/ATER	CONC	WD-1	WB-1	NEW	-	-	EXIST/ALTER	PST	PT-1	EXIST	PST	PT-1	NEW	GYP	PT-1	EXIST/NEW	ACT-2	-	
112	ELEVATOR LOBBY	NEW	CONC	WD-2	WB-2	NEW	CW	-	EXIST/ALTER	-	-	NEW	CW	-	NEW	GYP	PT-1	NEW	GYP	PT-2	
113	RAISED STORAGE	NEW	CONC	WD-2	WB-2	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-2	
114	STORAGE	NEW	CONC	WD-2	WB-2	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-2	
02 SECOND FLOOR																					
204	ASSEMBLY HALL	EXIST	-	-	-	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-1	EXIST	PST	PT-2	
206	ELEVATOR LOBBY	NEW	CONC	WD-2	WB-2	NEW	CW	-	EXIST/ALTER	-	-	NEW	CW	-	NEW	GYP	PT-1	NEW	GYP	PT-2	
207	RESTROOM	NEW	CONC	CT-2	CT-3	NEW	GYP	CT-1, PT-3	NEW	GYP	CT-1, P-3	NEW	GYP	CT-1, P-3	NEW	GYP	CT-1, P-3	NEW	GYP	PT-2	SEE ELEVS FOR WALL FINISH DIMENSIONS.
208	MEETING ROOM	NEW	CONC	WD-2	WB-2	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	ACT-2	-	
03 THIRD FLOOR																					
307	ELEVATOR LOBBY	NEW	CONC	WD-2	WB-2	NEW	CW	-	EXIST/ALTER	-	-	NEW	CW	-	NEW	GYP	PT-1	NEW	GYP	PT-2	
308	RESTROOM	NEW	CONC	CT-2	CT-3	NEW	GYP	CT-1, PT-3	NEW	GYP	CT-1, P-3	NEW	GYP	CT-1, P-3	NEW	GYP	CT-1, P-3	NEW	GYP	PT-2	SEE ELEVS FOR WALL FINISH DIMENSIONS.
309	OFFICE	NEW	CONC	WD-2	WB-2	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	GYP	PT-1	NEW	ACT-2	-	
310	OFFICE																				

MATERIAL & FINISH SCHEDULE ABBREVIATIONS	
ACT	ACOUSTIC CEILING TILE
ALU	ALUMINUM
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
CW	CURTAIN WALL
EXIST	EXISTING TO REMAIN
GLZ	GLAZING
GYP	GYPSPUM WALL BOARD
MTL	METAL
PGYP	PLASTER BACKER BOARD
PST	PLASTER
PT	PAINT
RB	RUBBER BASE
VT	VINYL TILE
WB	WOOD BASE TRIM
WD	WOOD FLOORING

KEYNOTES

MATERIAL SCHEDULE							
MATERIAL DESIGNATION	DESCRIPTION	MANUFACTURER	MFG. REF. NO.	COLOR	FINISH/PATTERN/SIZE	LOCATIONS	NOTES
ACOUSTIC CEILING TILE							
ACT-1	CEILING TILE				24" x 24"		
ACT-2	CEILING TILE				48" x 48"		
CARPET TILE							
CPT-1	CARPET TILE					ADDITION OFFICES, MEETING ROOM	
CERAMIC TILE							
CT-1	CERAMIC TILE - WALL TILE	DALTILE		0190 ARCTIC WHITE	4.25"X4.25"	RESTROOMS	
CT-2	CERAMIC TILE - FLOOR TILE	DALTILE		0190 ARCTIC WHITE	2"X2"	RESTROOMS	
CT-3	CERAMIC TILE - BASE COVE	DALTILE		0190 ARCTIC WHITE		RESTROOMS	
GROUT							
GR-1	GROUT - FLOOR						
GR-2	GROUT						
PAINT							
PT-1	PAINT - WALLS	SHERWIN-WILLIAMS				THROUGHOUT	
PT-2	PAINT - CEILINGS	SHERWIN-WILLIAMS				THROUGHOUT	
PT-3	PAINT	SHERWIN-WILLIAMS					
PT-4	PAINT	SHERWIN-WILLIAMS					
PT-5	CONCRETE SEALER					OUTDOOR EQUIP RM FLOOR	
PLASTER/CONCRETE BASE							
PB-1	PLASTER/CONCRETE BASE					LOWER LEVEL AT REPAIRS/PATCHING	MATCH EXISTING PROFILE
RUBBER BASE							
RB-1	RUBBER BASE						
WOOD BASE TRIM							
WB-1	WOOD BASE TRIM - REPAIR EXISTING					EXISTING BUILDING THROUGHOUT	
WB-2	WOOD BASE TRIM - NEW					NEW ADDITION THROUGHOUT	
WOOD FLOORING							
WD-1	WOOD FLOORING					EXISTING BUILDING THROUGHOUT	
WD-2	WOOD FLOORING					NEW ADDITION THROUGHOUT	

LEGEND

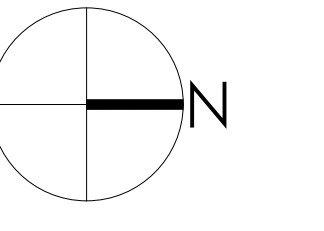


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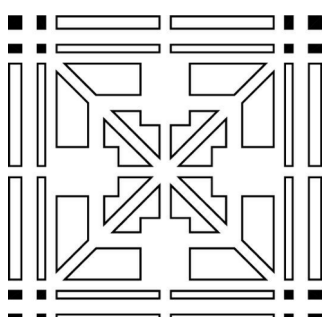
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**CHARLES THOMPSON MEMORIAL HALL**  
 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY: [Signature] DATE: 04.30.2021

FINISH SCHEDULES

**A601**



DOOR SCHEDULE																	
ID NO.	DOOR							FRAME AND CASING					FIRE RATING (MINUTES)	GLAZING	HARDWARE SET NO.	NOTES	
	CONDITION	TYPE	MATERIAL	FINISH	WIDTH	HEIGHT	THICKNESS	CONDITION	MATERIAL	CASING TYPE	FINISH	DETAILS					
												HEAD					JAMB
00 LOWER LEVEL																	
008	SALVAGE	SINGLE	WD	STAIN	3'-0"	7'-0"	0'-1 1/2"	EXIST	WD		STAIN - TOUCH-UP					REUSE DOOR IN SAME LOCATION WITH NEW HARDWARE	
009	SALVAGE	SINGLE	WD	STAIN	3'-0"	7'-0"	0'-1 1/2"	EXIST	WD		STAIN - TOUCH-UP					REUSE DOOR IN SAME LOCATION WITH NEW HARDWARE	
00a LOWER LEVEL ADDITION																	
014A	NEW	EXTERIOR SINGLE	MTL		3'-0"	6'-10 3/16"	0'-1 3/4"	NEW	MTL/GLZ			09/A501	10/A501		STANDARD	BASIS OF DESIGN: TUBELITE Standard Narrow Sile Entrance Door. SEE STOREFRONT GLASS SCHEDULE FOR SIDELIGHT.	
014B	NEW	EXTERIOR SINGLE	MTL		3'-0"	6'-10 3/16"	0'-1 3/4"	NEW	MTL/GLZ			09/A501	10/A501		STANDARD	BASIS OF DESIGN: TUBELITE Standard Narrow Sile Entrance Door. SEE STOREFRONT GLASS SCHEDULE FOR SIDELIGHT.	
015	NEW	EXTERIOR DOUBLE	MTL	PT	6'-0"	6'-8"	0'-1 3/4"	NEW	MTL								
01 FIRST FLOOR																	
101A	EXIST	DOUBLE	WD	STAIN	6'-0"	7'-0"	0'-2"	EXIST	WD		STAIN				EXIST		
101B	EXIST	DOUBLE	WD	STAIN	6'-0"	7'-0"	0'-2"	EXIST	WD		STAIN				EXIST		
101C	NEW	SINGLE	WD	STAIN	3'-0"	7'-0"	0'-1 1/2"	NEW	WD		STAIN				-		
108	NEW	SINGLE	WD	STAIN	2'-8"	7'-0"	0'-1 1/2"	NEW	WD		STAIN				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	
109	NEW	SINGLE	WD	STAIN	2'-8"	7'-0"	0'-1 1/2"	NEW	WD		STAIN				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	
110	NEW	SINGLE	WD	STAIN	2'-8"	7'-0"	0'-1 1/2"	NEW	WD		STAIN				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	
111A	NEW	SINGLE	WD	STAIN	3'-0"	7'-0"	0'-1 1/2"	NEW	WD		STAIN				-		
111B	NEW	SINGLE	WD	STAIN	2'-8"	7'-0"	0'-1 1/2"	EXIST	WD		STAIN - TOUCH-UP				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	
113	NEW	SINGLE	WD	STAIN	3'-0"	7'-0"	0'-1 1/2"	NEW	WD		STAIN				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	
02 SECOND FLOOR																	
207	NEW	SINGLE	WD	STAIN	3'-0"	7'-0"	0'-1 1/2"	NEW	WD		STAIN				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	
208	NEW	SINGLE	WD	STAIN	3'-0"	7'-0"	0'-1 1/2"	NEW	WD		STAIN				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	
03 THIRD FLOOR																	
308	NEW	SINGLE	WD	STAIN	3'-0"	7'-0"	0'-1 1/2"	NEW	WD		STAIN				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	
309	NEW	SINGLE	WD	STAIN	2'-10"	7'-0"	0'-1 3/4"	NEW	WD		STAIN				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	
310	NEW	SINGLE	WD	STAIN	2'-10"	7'-0"	0'-1 3/4"	NEW	WD		STAIN				-	MATCH HISTORIC DOORS FOR CONFIGURATION AND FINISH.	

KEYNOTES

WINDOW REHABILITATION SCHEDULE							
ID	QTY	WIDTH	HEIGHT	FRAME MATERIAL	FRAME FINISH	GLAZING TYPE	NOTES
E01	12	3'-5"	5'-3 1/4"	WD			
E01a	1	3'-5"	5'-3 1/4"	WD		NONE	REPLACE CURRENT WINDOW AND FRAME WITH NEW METAL LOUVER VENT
E02	1	3'-6"	5'-3 1/4"	WD			
E03	1	3'-7"	5'-3 1/4"	WD			
E04	1	3'-2"	5'-3 1/4"	WD			
E05	2	3'-5"	2'-6"	WD			
E06	3	3'-2 1/2"	5'-3 1/4"	WD			
E07	3	4'-6"	6'-9"	WD			
E08	8	3'-7"	5'-0"	WD			
E09	2	2'-8"	5'-2"	WD			
E10	1	3'-2"	2'-4"	WD			
E11	1	3'-2"	3'-6"	WD			
E12	1	3'-2"	4'-2"	WD			
E13	4	2'-5 1/2"	6'-5 5/8"	WD			
E14	2	3'-0"	6'-5 5/8"	WD			
E15	4	2'-11"	4'-10 1/4"	WD			
E16	1	3'-3"	5'-3 1/4"	WD			
E17	1	3'-7"	2'-6"	WD			
E18	6	2'-5 1/2"	6'-3"	WD			
E19	3	3'-0"	6'-3"	WD			
E20	12	3'-7"	5'-3"	WD			
E21	6	3'-0"	7'-10"	WD			REPLACE OR PROVIDE NEW METAL BRACING TO INTERIOR SASHES OF WINDOWS.
E22	12	2'-5 1/2"	7'-10"	WD			REPLACE OR PROVIDE NEW METAL BRACING TO INTERIOR SASHES OF WINDOWS.
E23	12	2'-5 1/2"	3'-3 1/2"	WD			
E24	6	2'-9"	3'-3 1/2"	WD			
E25	5	2'-4"	6'-5 5/8"	WD			

WINDOW REHABILITATION NOTES

- PERFORM THE FOLLOWING WORK ON ALL EXISTING WINDOWS:
1. REMOVE AND SALVAGE STORM WINDOWS.
  2. SCRAPE LOOSE PAINT.
  3. CONSOLIDATE OR EPOXY SILLS AND OTHER AREAS OF DETEIORATION.
  4. REPLACE BROKEN OR MISSING SASH CORDS.
  5. REGLAZE.
  6. REPAINT INTERIOR AND EXTERIOR.
  7. REINSTALL STORM WINDOWS.

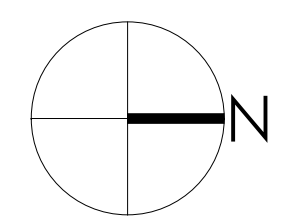
WINDOW SCHEDULE												
ID	QTY	DESCRIPTION	WIDTH	HEIGHT	FRAME MATERIAL	FRAME FINISH	JAMB TYPE	JAMB HEAD TYPE	GLAZING TYPE	SILL TYPE	NOTES	
00 LOWER LEVEL												
01	8	FIXED SIMULATED HUNG	3'-0"	5'-4 1/8"	ALUM			12/A253	11/A253	LAMINATED	08/A253	PAINT BACK OF GLAZING BLACK PRIOR TO INSTALLATION. BASIS OF DESIGN: SAINT CLOUD WINDOW - 564 FIXED SIMULATED HUNG WINDOW.
02 SECOND FLOOR												
02	1	SIDELIGHT	4'-6"	7'-0"	WD	PT-1			1/2"			

LEGEND

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REVISIONS		
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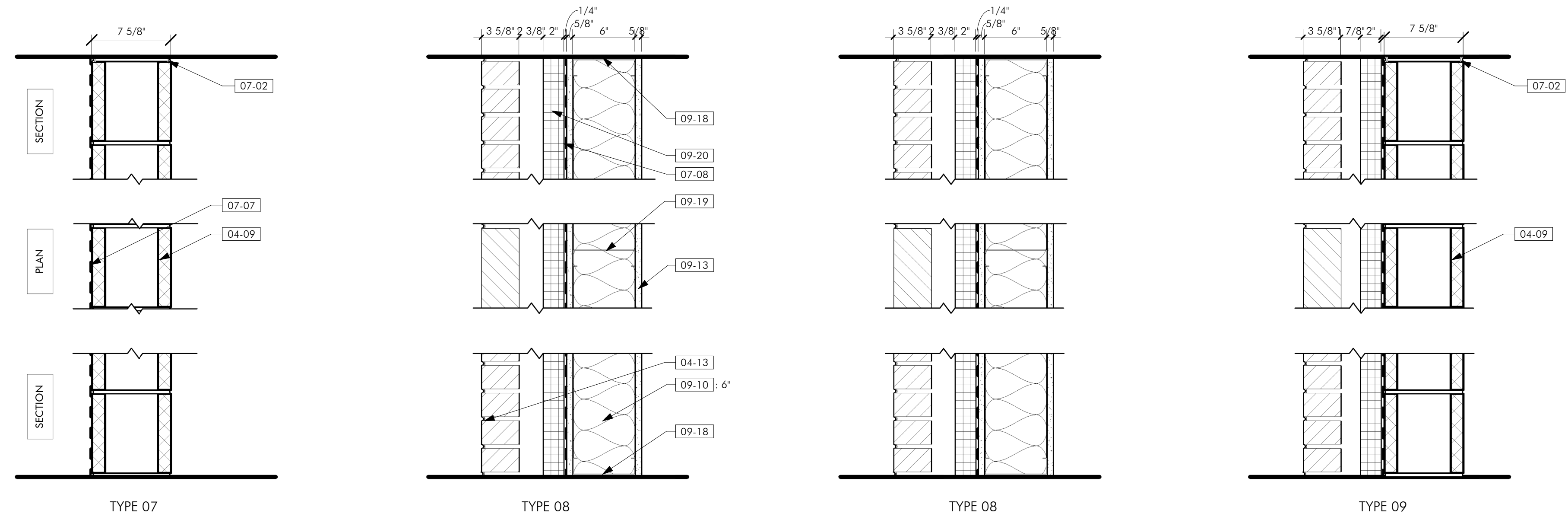
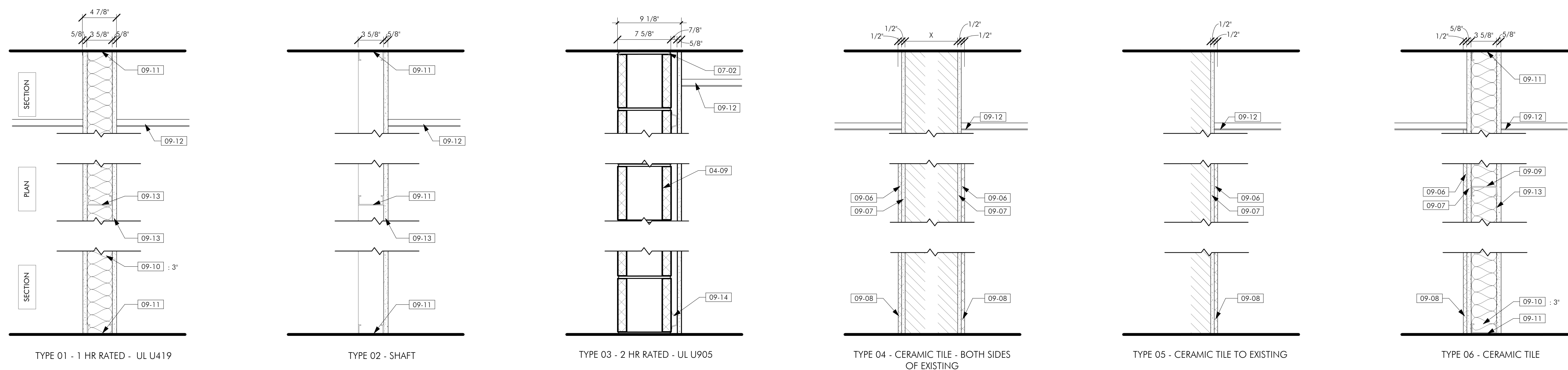
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 Rehabilitation, HVAC Upgrade, and Addition  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY DATE  
 FIG. BY DATE  
 REVISIONS  
 04.30.2021

WINDOWS & DOORS SCHEDULE

A602

SHEET NOTES

- PLEASE REFER TO SHEET G000 FOR GENERAL NOTES AND SPECIAL REQUIREMENTS.
- FULL HEIGHT METAL STUD PARTITIONS SHALL RUN FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AND INCLUDE FINISH MATERIAL FOR FULL HEIGHT. SEAL ALL JOINTS AT PERIMETER OF WALLS.
- FURRING PARTITIONS SHALL RUN TO 6" ABOVE THE FINISHED CEILING AND SHALL BE BRACED BACK TO THE EXISTING WALL.
- ALL FULL HEIGHT METAL STUD PARTITIONS SHALL BE 24" O.C.
- ALL MEASUREMENTS TAKEN FROM FINISH FACE OF WALLS.
- STOREFRONT AND CURTAINWALL TYPES START AT NUMBER 11 AND GO UP.



KEYNOTES

04-09	PROVIDE 7 5/8" CMU.
04-13	PROVIDE BRICK.
07-02	PROVIDE SEALANT.
07-07	INSTALL AIR & MOISTURE BARRIER ON EXTERIOR FACE OF NEW CMU INFILL.
07-08	PROVIDE AIR & MOISTURE BARRIER.
09-06	PROVIDE CERAMIC TILE.
09-07	PROVIDE 1/2" CERAMIC BACKERBOARD.
09-08	PROVIDE CERAMIC TILE BASE COVE.
09-09	PROVIDE 3 5/8" METAL STUD FRAMING @ 16" O.C.
09-10	PROVIDE BATT INSULATION.
09-11	PROVIDE 3 5/8" METAL STUD RUNNER.
09-12	PROVIDE CEILING AS SCHEDULED.
09-13	PROVIDE 5/8" GYP.
09-14	PROVIDE 7/8" HAT CHANNEL FRAMING @ 24" O.C. MAX.
09-18	PROVIDE 6" METAL STUD RUNNER.
09-19	PROVIDE 6" METAL STUD FRAMING.
09-20	PROVIDE THERMAFIBER RAINBARRIER 45 MINERAL WOOL INSULATION.

CURTAINWALL GLAZING SCHEDULE								
ID	QTY	DESCRIPTION	MODEL	LENGTH	HEIGHT	SILL TYPE	JAMB TYPE	HEAD TYPE
Curtain Wall: Curtainwall-Tubelite-400SS-6'								
11	1	Thermal Screw Spline Curtainwall	Tubelite, Inc. - 400SS 6" System Depth	6' - 3 5/16"	37' - 6"	06/A302	07/A302	04/A302
12	1	Thermal Screw Spline Curtainwall	Tubelite, Inc. - 400SS 6" System Depth	7' - 2 15/16"	37' - 6"	06/A302	07/A302	04/A302

STOREFRONT GLAZING SCHEDULE								
ID	QTY	DESCRIPTION	MODEL	LENGTH	HEIGHT	SILL TYPE	JAMB TYPE	HEAD TYPE
Curtain Wall: Storefront - Tubelite T14000IO (Main)								
15	2	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	4' - 1"	6' - 2"	05/A501	06/A501	04/A501
16	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	9' - 3"	5' - 10 1/2"	03/A501	06/A501	01/A501
17	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	6' - 8"	8' - 0"	02/A501	06/A501	01/A501
18	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	9' - 3"	8' - 0"	02/A501	06/A501	01/A501
19	3	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	3' - 6 1/2"	3' - 6 1/2"	02/A501	06/A501	04/A501
22	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	6' - 8"	7' - 4"	02/A501	06/A501	01/A501
23	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	12' - 0"	8' - 0"	Y NEED	06/A501, 07/A501	01/A501
24	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	9' - 3"	8' - 0"	02/A501	06/A501, 07/A501	01/A501
32	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	6' - 8"	7' - 4"	02/A501	06/A501	X NEED
33	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	12' - 0"	7' - 4"	02/A501	06/A501, 07/A501	X NEED
34	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	9' - 3"	7' - 4"	02/A501	06/A501, 07/A501	X NEED
Curtain Wall: Storefront - Tubelite T14000IO (Main) entrance								
13	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	6' - 8"	7' - 0"	X NEED	07/A501, 10/A501	01/A501
14	1	Storefront framing - Flush glazed system	Tubelite, Inc. - 14000IO	6' - 8"	7' - 0"	X NEED	10/A501 SIM	01/A501 SIM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

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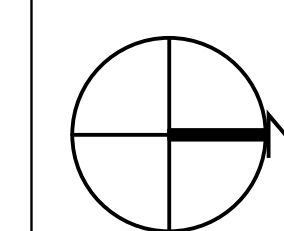
90% Legacy Grant Review





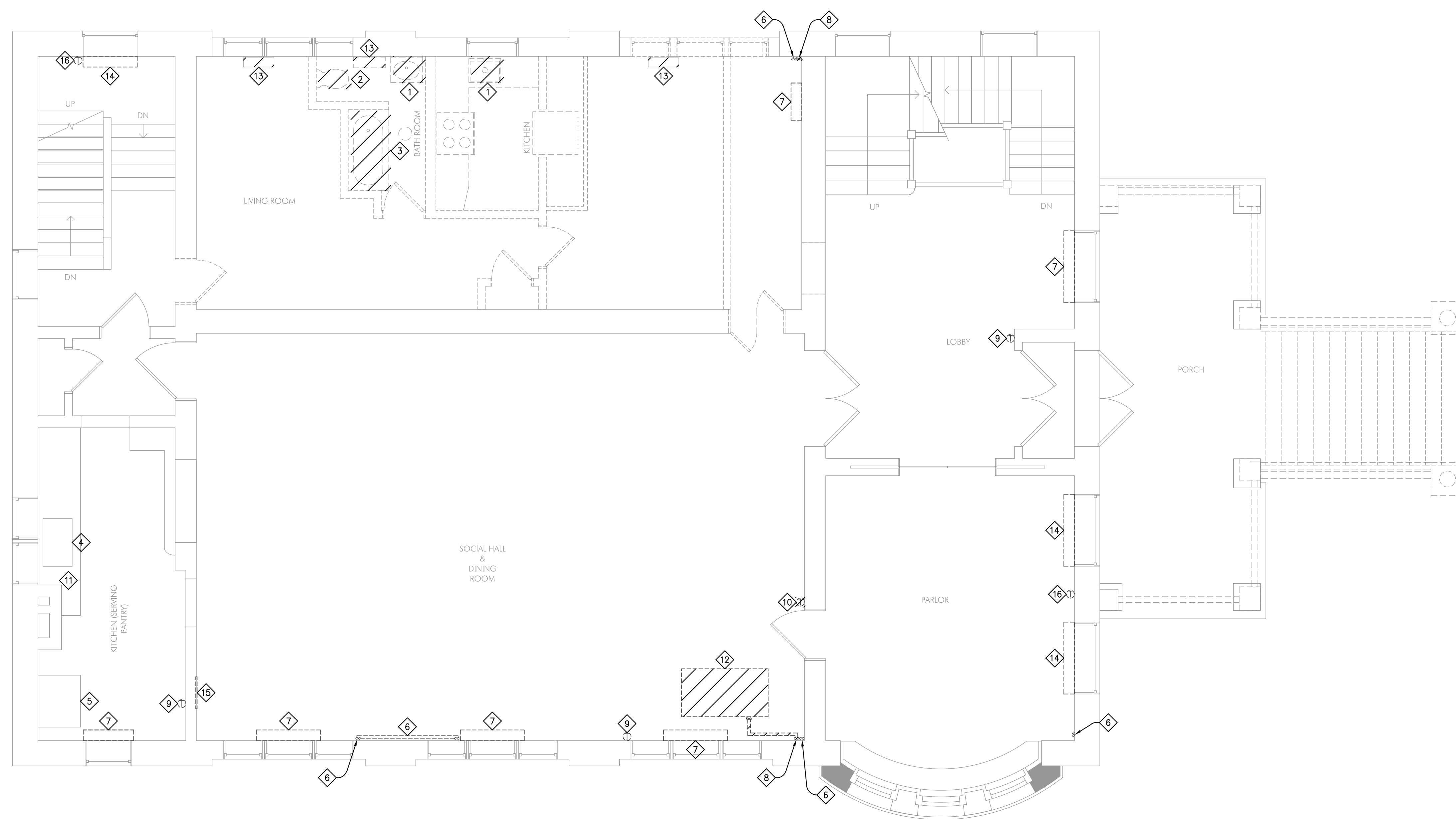


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**M011 KEY NOTES**

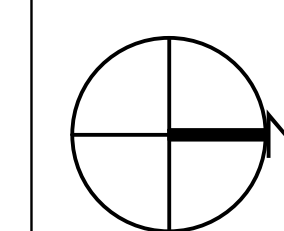
1. REMOVE EXISTING SINK, CAP SANITARY, HOT WATER, COLD WATER AND VENT PIPING BACK TO MAIN.
2. REMOVE EXISTING WATER CLOSET, CAP SANITARY, COLD WATER AND VENT PIPING BACK TO MAIN.
3. REMOVE EXISTING BATH TUB, CAP SANITARY, HOT WATER, COLD WATER AND VENT PIPING BACK TO MAIN.
4. EXISTING 2-COMPARTMENT SINK TO REMAIN.
5. EXISTING GAS RANGE AND EXHAUST HOOD TO REMAIN.
6. EXISTING HOT WATER SUPPLY AND RETURN PIPING TO REMAIN.
7. EXISTING CABINET UNIT HEATER TO REMAIN.
8. EXISTING REFRIGERANT PIPING FROM FAN COIL UNIT TO CONDENSING UNIT TO BE REMOVED.
9. EXISTING THERMOSTAT FOR CABINET UNIT HEATER TO REMAIN.
10. EXISTING THERMOSTAT FOR FAN COIL UNIT TO BE REMOVED.
11. EXISTING HAND SINK TO REMAIN.
12. EXISTING FAN COIL UNIT AND ASSOCIATED CONDENSATE DRAIN, DUCTWORK AND CONTROLS TO BE REMOVED.
13. EXISTING CABINET UNIT HEATER AND ASSOCIATED THERMOSTAT TO BE REMOVED, EXISTING HOTWATER SUPPLY AND RETURN PIPING TO BE REVISED/REUSED. SEE SHEET M211 FOR FURTHER INFORMATION.
14. EXISTING FIN-TUBED RADIATION TO REMAIN.
15. EXISTING GRILLE HIGH IN WALL TO BE REMOVED, SEE SHEET M111 FOR NEW WORK.
16. EXISTING THERMOSTAT FOR FIN TUBE RADIATION TO REMAIN.



**1 FIRST FLOOR MECHANICAL DEMOLITION PLAN**  
1/4" = 1'-0"

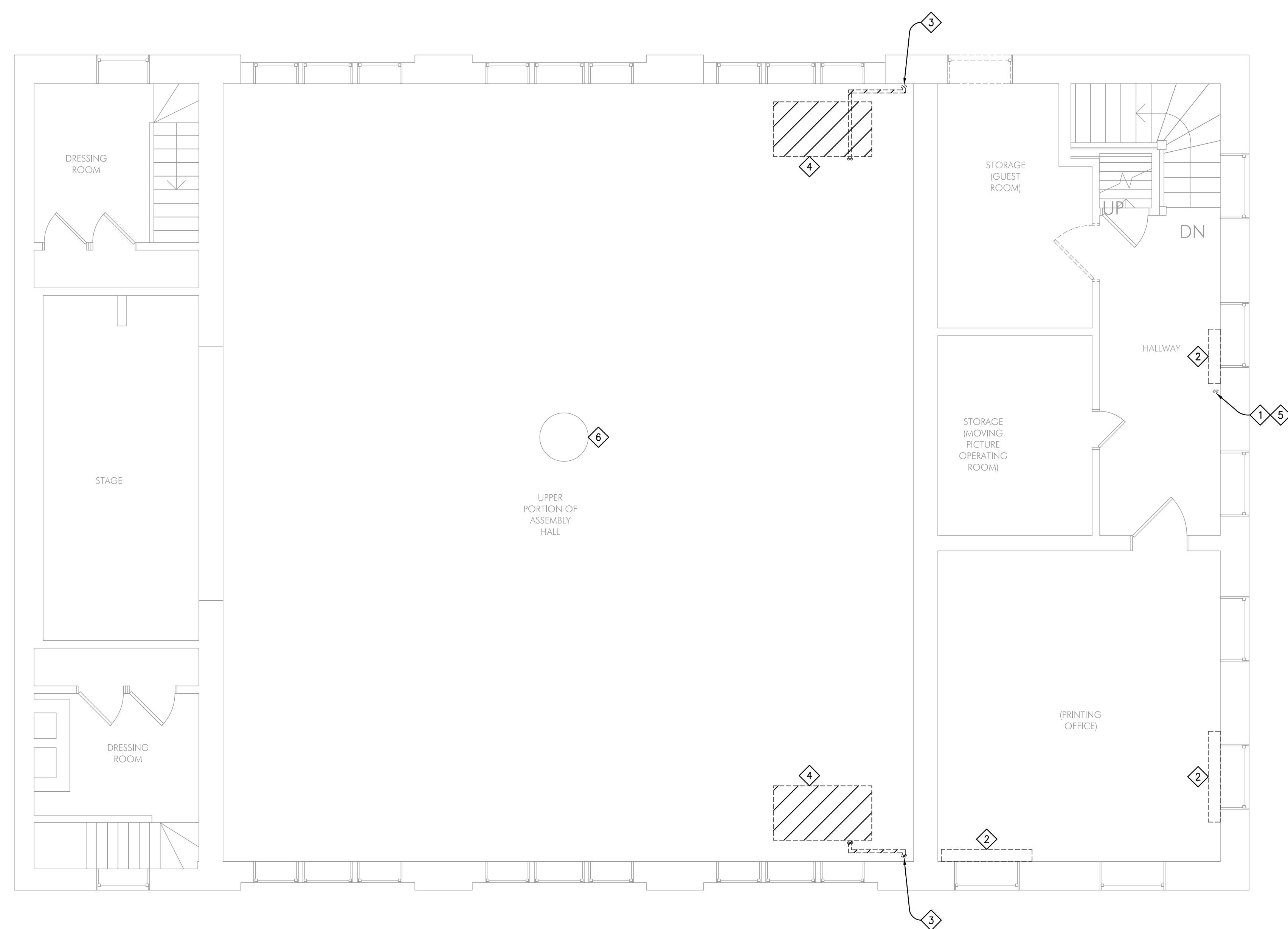


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No.	Description	Date



**M031 KEY NOTES**

1. EXISTING HOT WATER SUPPLY AND RETURN PIPING TO REMAIN.
2. EXISTING FIN-TUBED RADIATION TO REMAIN.
3. EXISTING REFRIGERANT PIPING FROM FAN COIL UNIT TO CONDENSING UNIT TO BE REMOVED.
4. EXISTING FAN COIL UNIT AND ASSOCIATED CONDENSATE DRAIN, DUCTWORK AND CONTROLS TO BE REMOVED.
5. EXISTING AIR SEPARATOR VENT TO REMAIN.
6. EXISTING DECORATIVE ROUND CEILING VENT TO REMAIN.

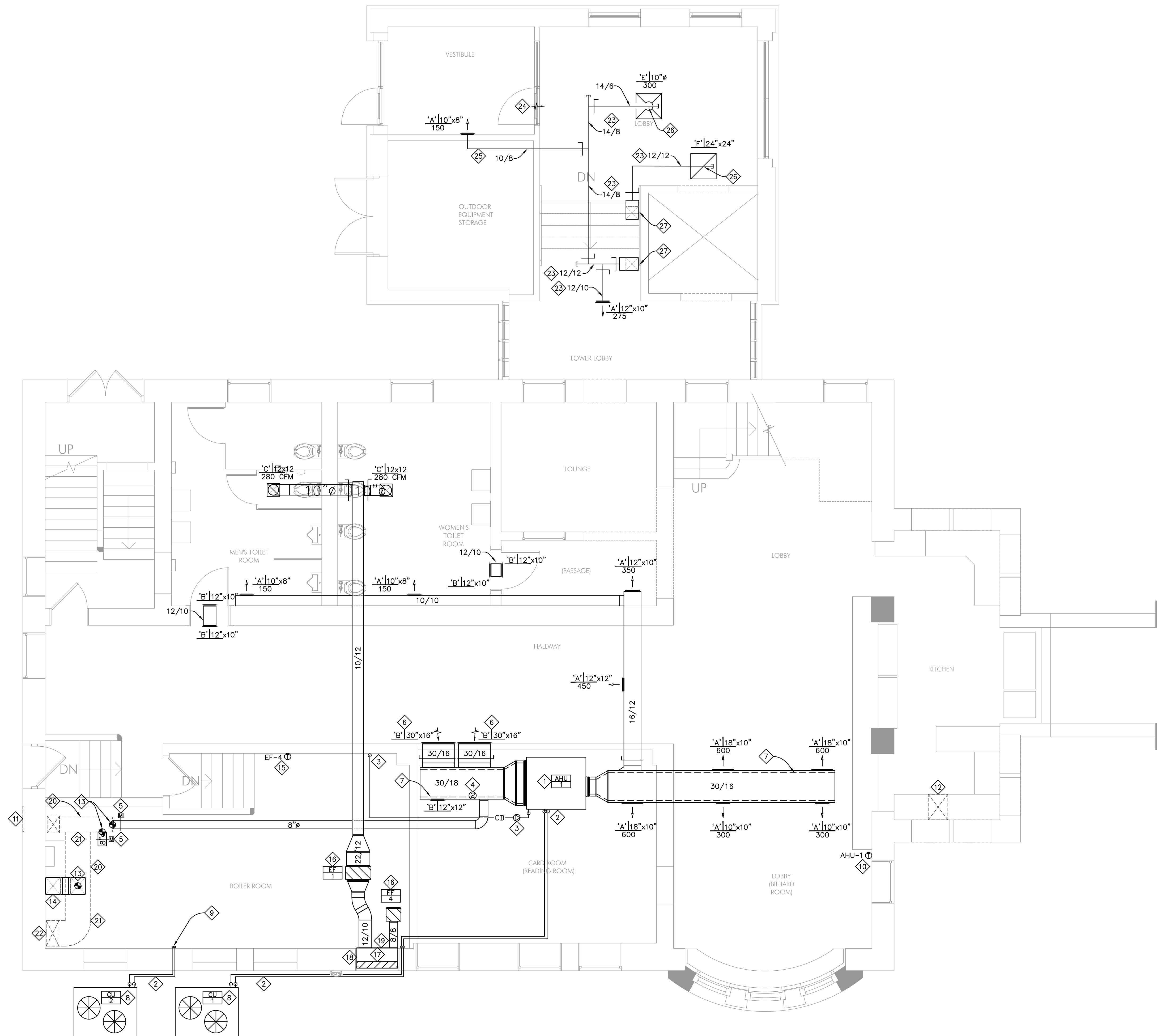


**1 THIRD FLOOR MECHANICAL DEMOLITION PLAN**  
1/4" = 1'-0"



**GENERAL MECHANICAL NOTES**

- A. ALL REFERENCES ON THE DRAWINGS AND IN THE SPECIFICATIONS TO "CONTRACTOR" AND "MECHANICAL CONTRACTOR" REFER TO THE MECHANICAL CONTRACTOR, UNLESS NOTED OTHERWISE.
- B. ALL WORK SHOWN AND SPECIFIED HEREIN SHALL BE FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE.
- C. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID, INCLUDING ALL EXISTING EQUIPMENT, DUCTWORK, PIPING, STUB-INS, TAPS, ETC. NO CLAIMS FOR EXTRAS DUE TO LACK OF FAMILIARITY WITH SITE CONDITIONS WILL BE APPROVED.
- D. THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS FOR ALL DIVISIONS OF WORK AND SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. IT IS THIS CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL HIS SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.
- E. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND SHALL NOT BE SCALED. THE CONTRACTOR SHALL FIT THE WORK TO THE JOB, CAREFULLY INVESTIGATING STRUCTURAL, MECHANICAL, ELECTRICAL AND FINISH CONDITIONS AFFECTING THE WORK, AND SHALL FURNISH AND INSTALL ALL NECESSARY BENDS, OFFSETS, FITTINGS, JUNCTIONS, ETC. WHETHER OR NOT SPECIFICALLY SHOWN OR CALLED FOR, AND SEE THAT THERE ARE NO INTERFERENCES BETWEEN THIS WORK AND THE WORK OF OTHER TRADES.
- F. PROVIDE ALL EQUIPMENT AND MATERIALS, AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE MECHANICAL SYSTEMS AS INDICATED ON THE DRAWINGS, AS SPECIFIED, AND AS REQUIRED BY APPLICABLE CODES.
- G. INSTALL ALL MECHANICAL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, THE CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS.
- H. THE LOCATIONS OF ALL ITEMS SHOWN ON THE DRAWINGS THAT ARE NOT DIMENSIONED ARE APPROXIMATE ONLY. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS SHALL BE BASED ON SITE CONDITIONS. INSTALL ALL EQUIPMENT AS REQUIRED TO MAINTAIN MANUFACTURER'S RECOMMENDED SERVICE CLEARANCES.
- I. COORDINATE DIFFUSER, REGISTER AND GRILLE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN, LIGHTING AND OTHER CEILING-MOUNTED ITEMS, AND MAKE MINOR ADJUSTMENTS IN DIFFUSER LOCATIONS AND DUCTWORK AS REQUIRED.
- J. ALL ROOF CUTTING, PATCHING AND FLASHING REQUIRED TO INSTALL THE MECHANICAL SYSTEMS SHALL BE BY THE ROOFING CONTRACTOR AT THIS CONTRACTOR'S EXPENSE. COORDINATE ROOF PENETRATIONS WITH GENERAL CONTRACTOR.
- K. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL CONNECTIONS TO EXISTING MECHANICAL AND PLUMBING. RE-USE EXISTING CONNECTION POINTS WHERE POSSIBLE.
- L. NOTIFY ENGINEER IF ANY EXISTING DUCTWORK OR PIPING CONNECTION POINTS ARE SMALLER THAN SIZES SHOWN ON DRAWINGS.
- M. REMOVE ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, PIPING SYSTEMS, CONTROLS, ETC. NOT BEING RE-USED. DO NOT ABANDON IN PLACE.
- N. CONTRACTOR MAY, AT HIS OPTION, INSTALL ROUND SPIRAL DUCTWORK OF EQUIVALENT CAPACITY IN LIEU OF RECTANGULAR DUCTWORK SHOWN AS LONG AS CEILING HEIGHTS ARE NOT AFFECTED.
- O. FIBERGLASS DUCTBOARD IS NOT ALLOWED.
- P. BRANCH DUCT RUNOUTS TO DIFFUSERS SHALL BE SAME SIZE AS DIFFUSER NECK, UNLESS SHOWN OTHERWISE.
- Q. RIGID DUCTWORK SHALL BE UTILIZED FOR ALL RUNOUTS TO DIFFUSERS IN OPEN CEILING AREAS.
- R. CONTRACTOR SHALL BALANCE ALL HVAC SYSTEMS IN ACCORDANCE WITH THE MECHANICAL SPECIFICATIONS. SUBMIT COPIES OF TEST & BALANCE REPORT FOR REVIEW PRIOR TO PROJECT HAND-OVER.



**1 LOWER LEVEL MECHANICAL PLAN**  
1/4" = 1'-0"

**M101 KEY NOTES**

1. FURNISH AND INSTALL NEW AIR HANDLING UNIT & ASSOCIATED CONDENSING UNIT PROVIDE SECONDARY DRAIN PAN WITH WET SWITCH. REFER TO HVAC EQUIPMENT SCHEDULE ON SHEET M-800.
2. FURNISH AND INSTALL REFRIGERANT PIPING SYSTEM. COORDINATE LOCATION OF REFRIGERANT PIPE AND SLEEVE THRU WALL IN FIELD, REUSE EXISTING SLEEVE THRU WALL IF POSSIBLE.
3. CONDENSATE PIPING SYSTEM FURNISHED AND INSTALLED BY CONTRACTOR. PROVIDE CONDENSATE PUMP LITTLE GIANT OR EQUAL (CP-2) IF REQUIRED. TRAP CONDENSATE PIPE AND TERMINATE OVER JANITOR SINK WITH 2" AIR GAP IN BOILER ROOM. INTERLOCK WET SWITCH WITH AHU TO SHUT DOWN UNIT UPON DETECTION OF WATER.
4. INSTALL DUCT SMOKE DETECTOR FURNISHED BY ELECTRICAL CONTRACTOR IN MAIN RETURN AIR DUCT. INTERLOCK WITH HVAC UNIT FOR AUTOMATIC SHUTDOWN OF UNIT UPON DETECTION OF SMOKE. CONNECTION OF DUCT DETECTOR TO FIRE ALARM SYSTEM, IF REQUIRED, WILL BE BY ELECTRICAL CONTRACTOR.
5. FURNISH AND INSTALL MOTORIZED OUTSIDE AIR DAMPER.
6. RETURN AIR GRILLE WITH VOLUME DAMPER.
7. INSTALL 1" THICK DUCTLINER IN DUCTWORK SHOWN DASHED.
8. CONDENSING UNIT TO BE MOUNTED ON CONCRETE BASE AT GRADE LEVEL, COORDINATE EXACT LOCATION IN THE FIELD. SEE DETAIL 7/M-700.
9. CONDENSING UNIT (CU-2) REFRIGERANT PIPING UP TO FLOOR ABOVE. SEE SHEET M111 FOR CONTINUATION.
10. INSTALL AHU-1 THERMOSTAT AT 48" AFF. LABEL ALL THERMOSTATS WITH THE UNIT NUMBER THEY SERVE.
11. EXISTING EXTERIOR GRILLE TO REMAIN, ENSURE CONNECTION TO EXISTING OUTSIDE AIR DUCT IS SOUND AND AIR TIGHT.
12. EXISTING EXHAUST HOOD TO REMAIN.
13. CONNECT NEW INSULATED OUTSIDE AIR DUCT TO EXISTING OUTSIDE AIR DUCT TO REMAIN. VERIFY EXACT SIZE AND LOCATION IN FIELD.
14. DROP NEW 16"x14" COMBUSTION AIR DUCT TO WITHIN 12"A.F.F.
15. INSTALL EF-4 REVERSE ACTING THERMOSTAT AT 48" AFF. LABEL ALL THERMOSTATS WITH THE UNIT NUMBER THEY SERVE.
16. FURNISH AND INSTALL NEW INLINE EXHAUST FAN, SUPPORT FROM STRUCTURE ABOVE WITH VIBRATION ISOLATING HANGERS.
17. REPLACE EXISTING WINDOW WITH FULL SIZE EXHAUST AIR LOUVER, GREENHECK MODEL ESD-635 OR EQUAL. VERIFY EXACT SIZE IN FIELD.
18. FURNISH AND INSTALL FULL WIDTH AND HEIGHT X 18" DEPTH INSULATED LOUVER PLENUM.
19. FURNISH AND INSTALL 2" INSULATED BLANK-OFF PANEL FOR PORTION OF LOUVER NOT BEING USED.
20. EXTERNALLY INSULATE EXISTING OUTSIDE AIR DUCTWORK.
21. EXISTING OUTSIDE AIR DUCTWORK TO REMAIN, VERIFY EXACT SIZE AND LOCATION IN THE FIELD.
22. EXISTING OUTSIDE AIR DUCTWORK UP TO FIRST FLOOR TO REMAIN, SEE SHEET M111 FOR CONTINUATION.
23. ROUTE SUPPLY AND RETURN DUCTWORK TIGHT TO CEILING.
24. PROVIDE 1/2" DOOR UNDERCUT.
25. RUN DUCTWORK IN SOFFIT IN STORAGE ROOM.
26. PROVIDE BOTTOM CONNECTION FROM DUCTWORK TO DIFFUSER OR GRILLE.
27. 12"x12" SUPPLY DUCT AND 12"x12" RETURN DUCT UP THROUGH THE FLOOR ABOVE.

**90% SUBMITTAL**  
04-23-2021



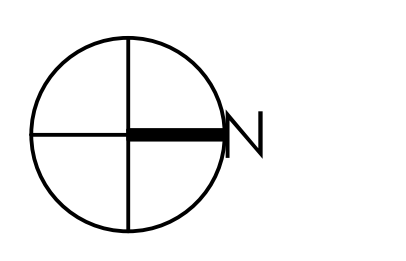
PROJECT NO.: R20-3835.002

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINTED NAME: Richard L. Ludo

SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_

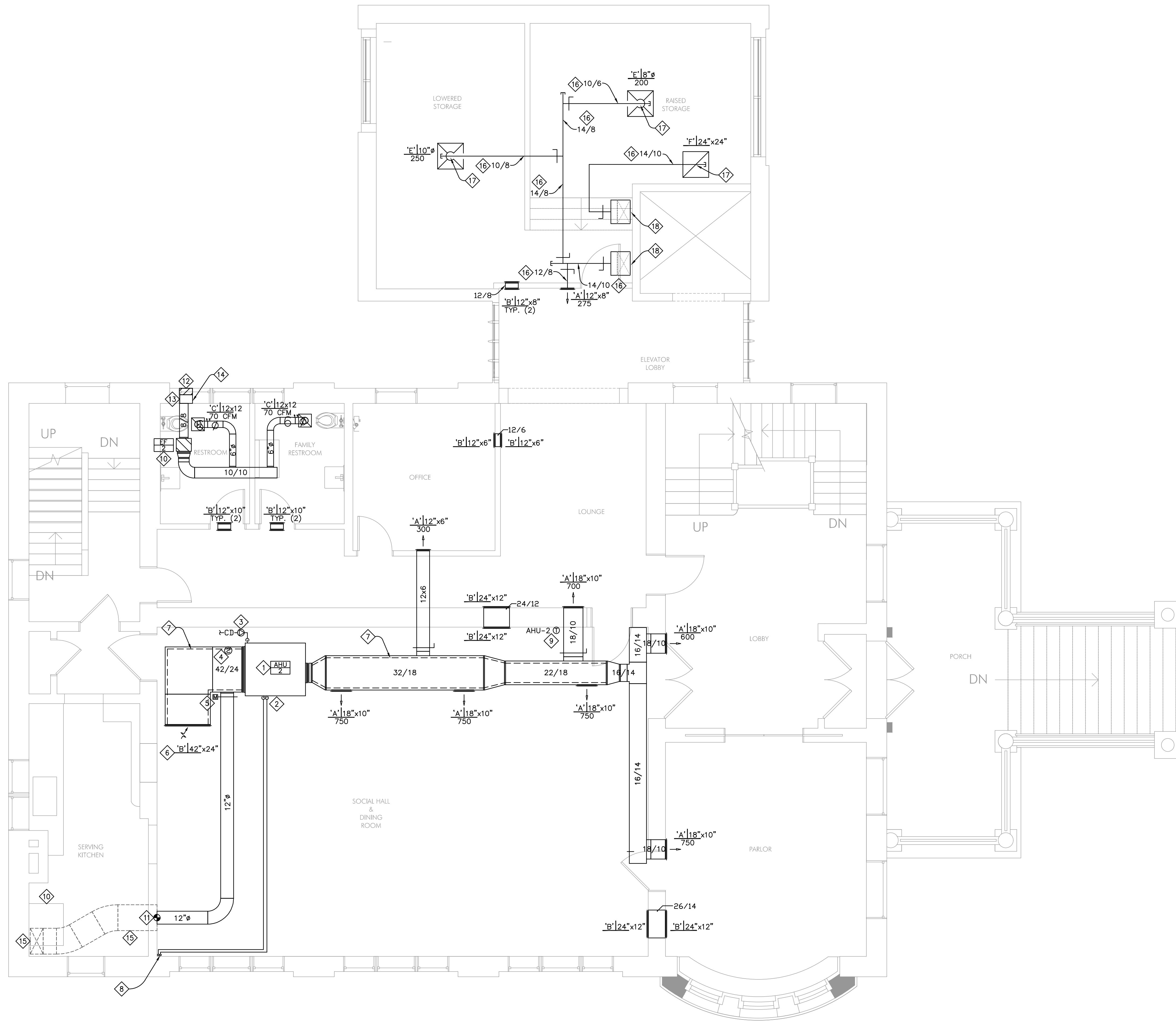
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No.	Description	Date



**CHARLES THOMPSON MEMORIAL HALL**  
Rehabilitation, HVAC Upgrade, and Addition  
1824 Marshall Avenue, Saint Paul, MN 55104  
DRAWN BY TMS CHECKED BY CDS/RLL  
DATE 04/23/2021

LOWER LEVEL MECHANICAL PLAN

M101



**1** FIRST FLOOR MECHANICAL PLAN  
1/4" = 1'-0"

**M111 KEY NOTES**

1. FURNISH AND INSTALL NEW AIR HANDLING UNIT & ASSOCIATED CONDENSING UNIT. PROVIDE SECONDARY DRAIN PAN WITH WET SWITCH. REFER TO HVAC EQUIPMENT SCHEDULE ON SHEET M-800.
2. FURNISHED AND INSTALL REFRIGERANT PIPING SYSTEM. COORDINATE LOCATION OF REFRIGERANT PIPE AND SLEEVE THRU WALL IN FIELD, REUSE EXISTING SLEEVE THRU WALL IF POSSIBLE.
3. CONDENSATE PIPING SYSTEM FURNISHED AND INSTALLED BY CONTRACTOR, PROVIDE CONDENSATE PUMP LITTLE GIANT OR EQUAL (CP-3) IF REQUIRED. TRAP CONDENSATE PIPE AND TERMINATE AT HAND SINK TAIL PIECE IN THE KITCHEN. INTERLOCK WET SWITCH WITH AHU TO SHUT DOWN UNIT UPON DETECTION OF WATER.
4. INSTALL DUCT SMOKE DETECTOR FURNISHED BY ELECTRICAL CONTRACTOR IN MAIN RETURN AIR DUCT. INTERLOCK WITH HVAC UNIT FOR AUTOMATIC SHUTDOWN OF UNIT UPON DETECTION OF SMOKE. CONNECTION OF DUCT DETECTOR TO FIRE ALARM SYSTEM, IF REQUIRED, WILL BE BY ELECTRICAL CONTRACTOR.
5. FURNISH AND INSTALL MOTORIZED OUTSIDE AIR DAMPER.
6. RETURN AIR GRILLE WITH OPPOSED BLADE VOLUME DAMPER.
7. INSTALL 1" THICK DUCTLINER IN DUCTWORK SHOWN DASHED.
8. REFRIGERANT PIPING DOWN TO FLOOR BELOW, SEE SHEET M101 FOR CONTINUATION.
9. INSTALL AHU-2 THERMOSTAT AT 48" AFF. LABEL ALL THERMOSTATS WITH THE UNIT NUMBER THEY SERVE.
10. EXISTING GAS RANGE AND EXHAUST HOOD TO REMAIN.
11. CONNECT NEW 12"Ø OUTSIDE AIR DUCT TO EXISTING DUCT HIGH IN WALL. SEE ARCHITECTURAL FOR WALL REPAIR/FINISH.
12. PROVIDE 12"x12" EXHAUST AIR LOUVER, GREENHECK MODEL ESD-635 OR EQUAL ABOVE THE EXISTING WINDOW, VERIFY EXACT SIZE AND LOCATION IN FIELD.
13. FURNISH AND INSTALL FULL WIDTH AND HEIGHT X 18" DEPTH INSULATED LOUVER PLENUM.
14. FURNISH AND INSTALL 2" INSULATED BLANK-OFF PANEL FOR PORTION OF LOUVER NOT BEING USED.
15. EXISTING OUTSIDE AIR DUCTWORK UP FROM LOWER LEVEL TO ABOVE KITCHEN ROOM CEILING TO REMAIN, VERIFY EXACT SIZE AND LOCATION IN THE FIELD.
16. ROUTE SUPPLY AND RETURN DUCTWORK TIGHT TO CEILING.
17. PROVIDE BOTTOM CONNECTION FROM DUCTWORK TO DIFFUSER OR GRILLE.
18. 22"x12" SUPPLY DUCT AND 22"x12" RETURN DUCT UP THROUGH THE FLOOR ABOVE.

90%  
SUBMITTAL  
04-23-2021



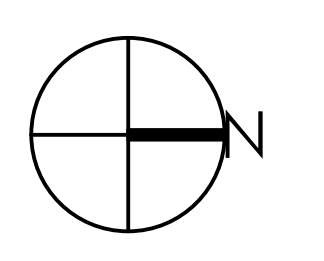
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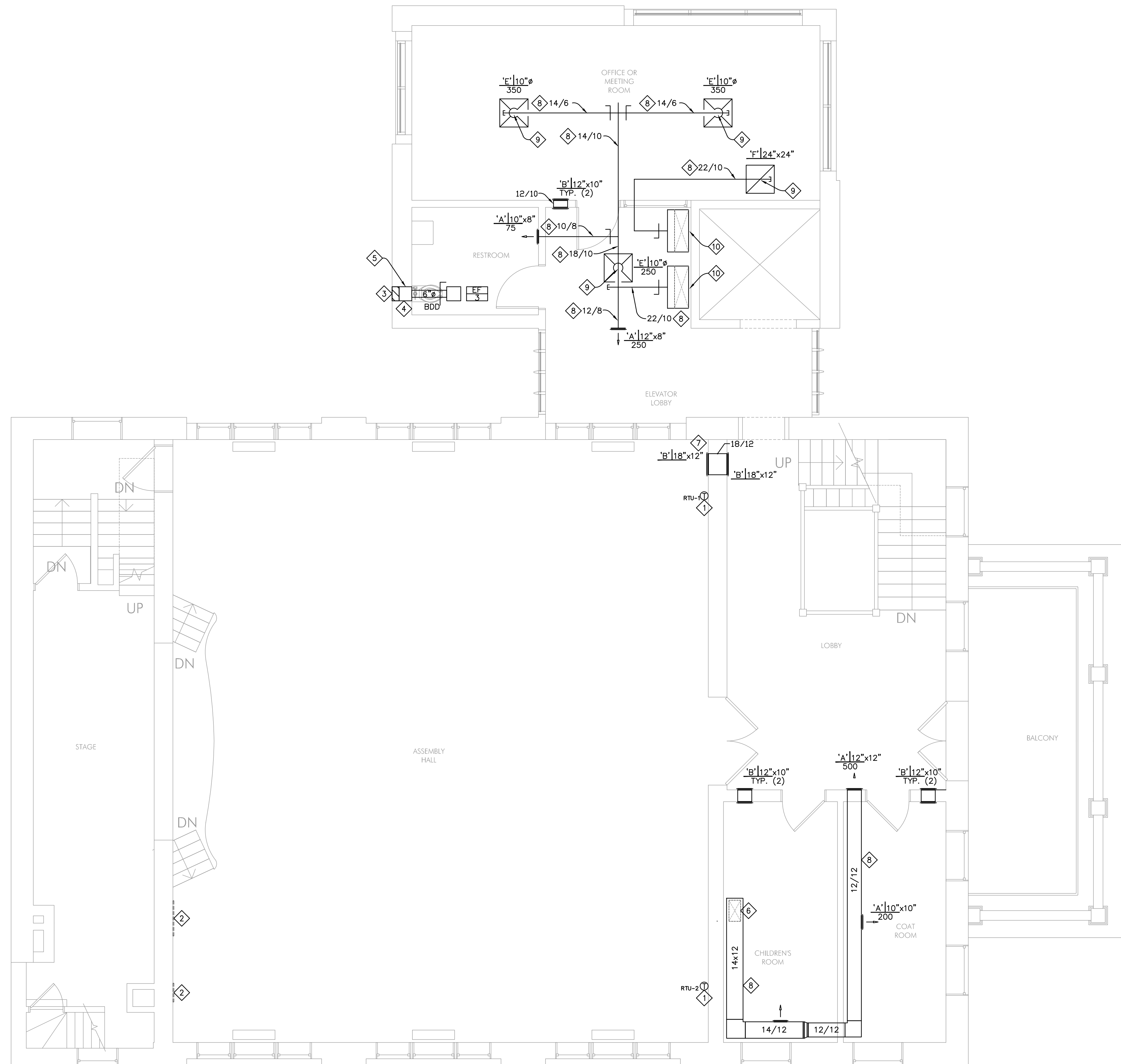
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FIRST FLOOR  
MECHANICAL  
PLAN

M111



**M121 KEY NOTES**

1. CONTRACTOR TO PROVIDE NEW COMMERCIAL 7-DAY PROGRAMMABLE THERMOSTAT FOR RTU CONTROL. MOUNT AT 4'-0" A.F.F. REFER TO SPECIFICATION SECTION 15906. LABEL THERMOSTAT WITH UNIT NUMBER.
2. EXISTING WALL GRILLE TO REMAIN.
3. PROVIDE 12"x12" EXHAUST AIR LOUVER, GREENHECK MODEL ESD-635 OR EQUAL ABOVE THE EXISTING WINDOW, VERIFY EXACT SIZE AND LOCATION IN FIELD.
4. FURNISH AND INSTALL FULL WIDTH AND HEIGHT X 18" DEPTH INSULATED LOUVER PLENUM.
5. FURNISH AND INSTALL 2" INSULATED BLANK-OFF PANEL FOR PORTION OF LOUVER NOT BEING USED.
6. ROUTE 18X10 SUPPLY DUCTWORK UP THROUGH THE FLOOR ABOVE TO THIRD LEVEL ARCHIVE ROOM, SEE SHEET M131 FOR CONTINUATION.
7. PROVIDE TRANSFER GRILLES AS HIGH AS POSSIBLE.
8. ROUTE SUPPLY AND RETURN DUCTWORK TIGHT TO CEILING.
9. PROVIDE BOTTOM CONNECTION FROM DUCTWORK TO DIFFUSER OR GRILLE.
10. 36"x12" SUPPLY DUCT AND 36"x12" RETURN DUCT UP THROUGH THE FLOOR ABOVE.

**1 SECOND FLOOR MECHANICAL PLAN**  
1/4" = 1'-0"

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04-23-2021



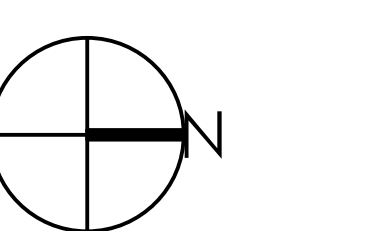
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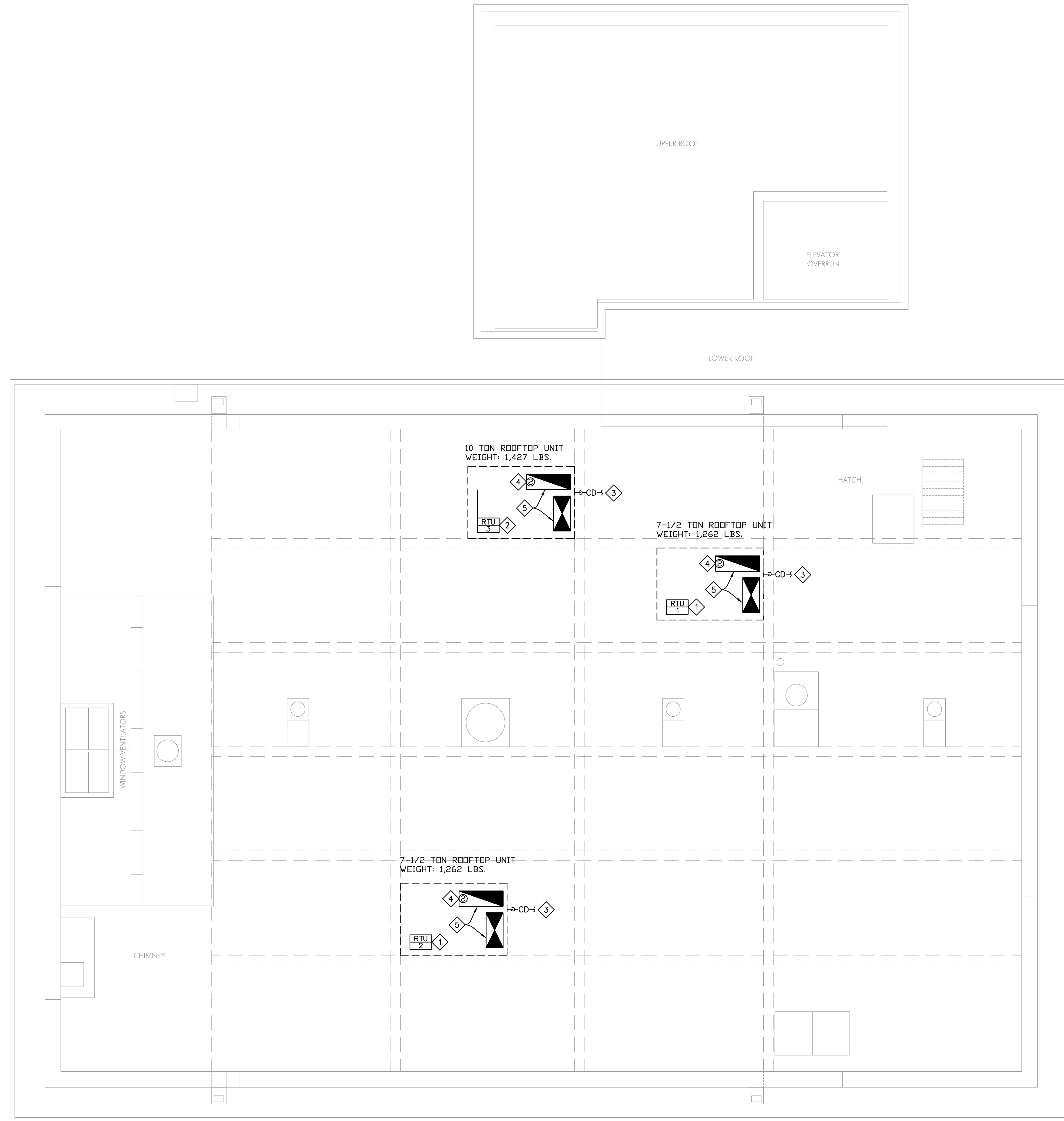
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SECOND FLOOR  
MECHANICAL  
PLAN

M121







**1 ROOF MECHANICAL PLAN**  
1/4" = 1'-0"

**M141 KEY NOTES**

1. CONTRACTOR TO PROVIDE AND INSTALL NEW ROOFTOP HVAC UNIT ON NEW ROOF CURB. COORDINATE LOCATION OF ROOFTOP UNIT WITH OWNER'S FIELD REPRESENTATIVE. LOCATION ON DRAWING IS APPROXIMATE ONLY. ABIDE BY MANUFACTURER'S CLEARANCE RECOMMENDATIONS. EXTEND FULL SIZE SA & RA DUCTS THRU ROOF. BALANCE TO 3,000 CFM SUPPLY AIR AND 300 CFM OUTSIDE AIR.
2. CONTRACTOR TO PROVIDE AND INSTALL NEW ROOFTOP HVAC UNIT ON NEW ROOF CURB. COORDINATE LOCATION OF ROOFTOP UNIT WITH OWNER'S FIELD REPRESENTATIVE. LOCATION ON DRAWING IS APPROXIMATE ONLY. ABIDE BY MANUFACTURER'S CLEARANCE RECOMMENDATIONS. EXTEND FULL SIZE SA & RA DUCTS THRU ROOF. BALANCE TO 4,000 CFM SUPPLY AIR AND 260 CFM OUTSIDE AIR.
3. EXTEND 1" CONDENSATE PIPING WITH 4" DEEP TRAP TO SPLASH BLOCK ON ROOF. PROVIDE 2" AIR GAP AT DISCHARGE.
4. FURNISH AND INSTALL DUCT SMOKE DETECTOR FURNISHED BY ROOFTOP EQUIPMENT MANUFACTURER IN MAIN RETURN AIR DUCT. INTERLOCK WITH HVAC UNIT FOR AUTOMATIC SHUTDOWN OF UNIT UPON DETECTION OF SMOKE. CONNECTION OF DUCT DETECTOR TO FIRE ALARM SYSTEM, IF REQUIRED, WILL BE BY ELECTRICAL CONTRACTOR.
5. FULL SIZE SUPPLY AND RETURN DUCT CONNECTIONS UP TO ROOFTOP UNIT, SEE SHEET M131 FOR CONTINUATION.

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SUBMITTAL  
04-23-2021



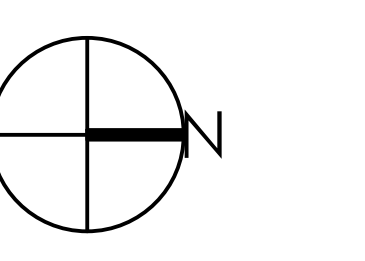
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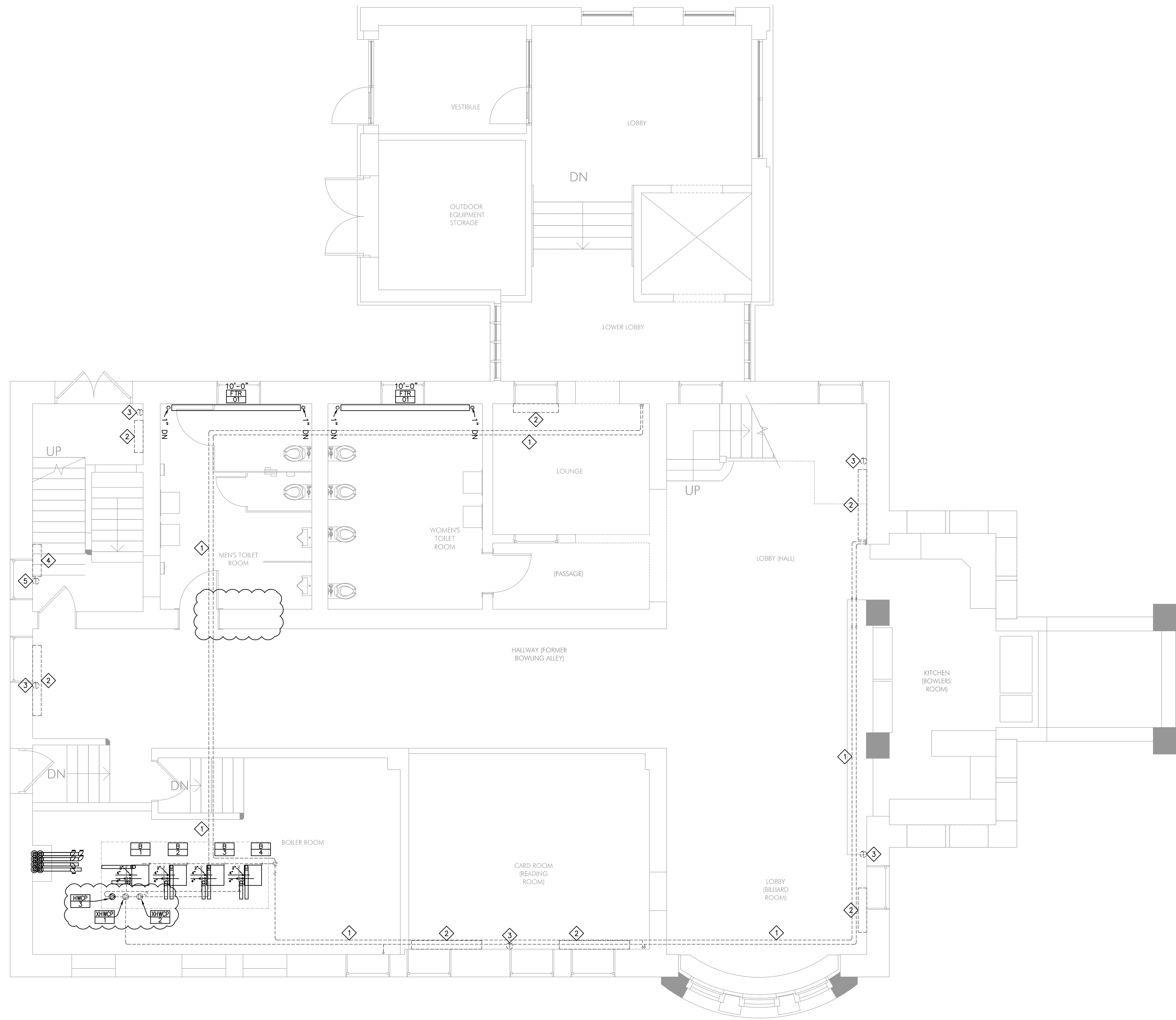
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ROOF  
MECHANICAL  
PLAN

M141



**M201 KEY NOTES**

1. EXISTING HOT WATER SUPPLY AND RETURN PIPING TO REMAIN, PROVIDE PIPE INSULATION AS REQUIRED.
2. EXISTING CABINET UNIT HEATER TO REMAIN, CLEAN AND REPAIR TO LIKE NEW CONDITION, CLEAN DUST AND DEBRIS FROM FINS/COILS.
3. EXISTING THERMOSTAT FOR CABINET UNIT HEATER TO REMAIN, VERIFY THERMOSTAT IS IN GOOD WORKING ORDER REPAIR OR REPLACE IF DEFECTIVE.
4. EXISTING FIN-TUBED RADIATION TO REMAIN, CLEAN AND REPAIR TO LIKE NEW CONDITION, CLEAN DUST AND DEBRIS FROM FINS/COILS.
5. EXISTING THERMOSTAT FOR FIN TUBE RADIATION TO REMAIN, VERIFY THERMOSTAT IS IN GOOD WORKING ORDER REPAIR OR REPLACE IF DEFECTIVE.

**1 LOWER LEVEL PIPING PLAN**  
1/4" = 1'-0"

**90%  
SUBMITTAL  
04-23-2021**



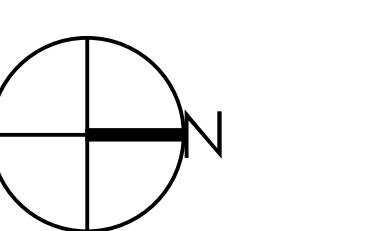
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PRINTED NAME: Richard L. Lurdo

SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_

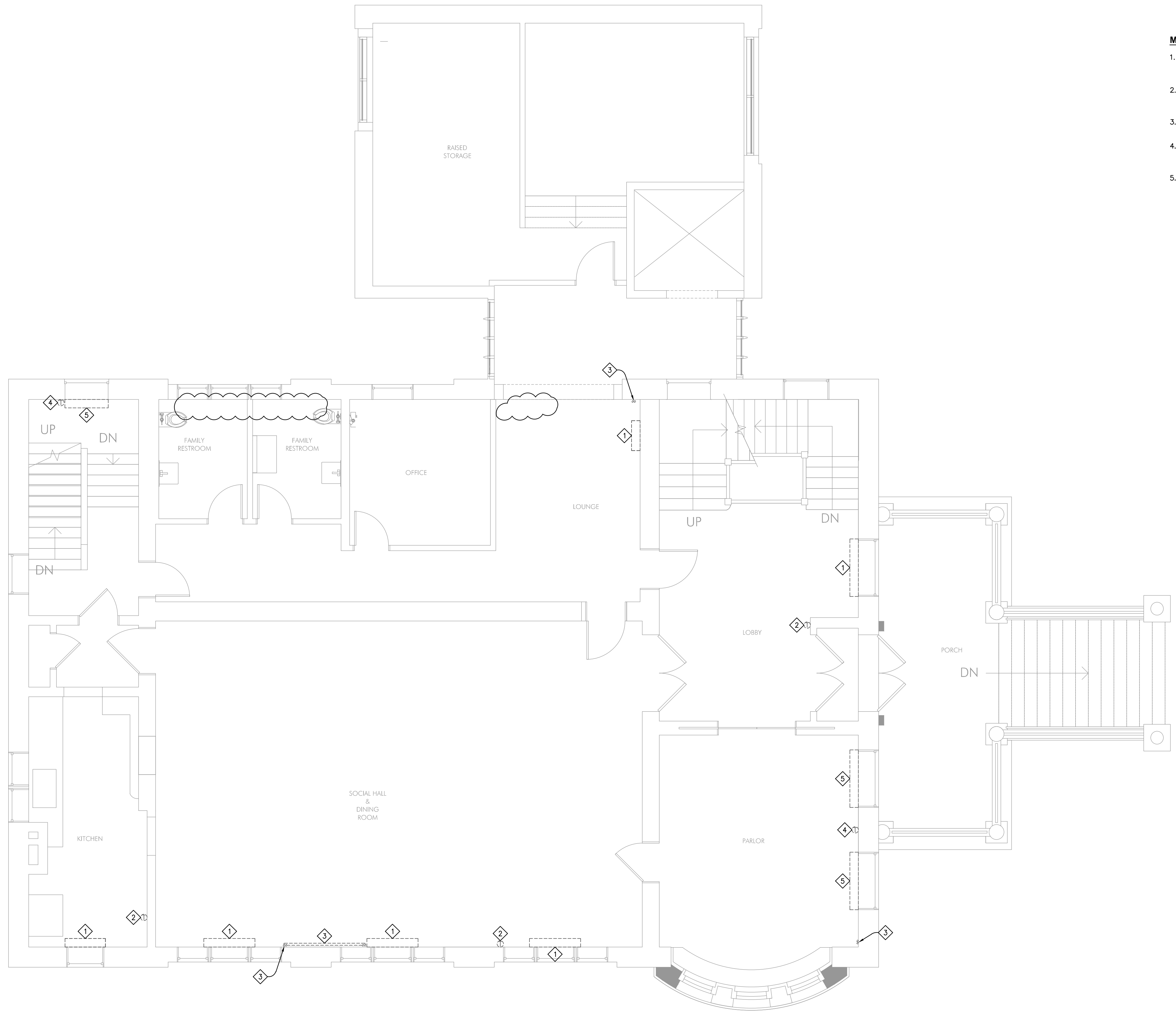
REVISIONS		
No.	Description	Date



**CHARLES THOMPSON MEMORIAL HALL**  
**Rehabilitation, HVAC Upgrade, and Addition**  
 1824 Marshall Avenue, Saint Paul, MN 55104  
 DRAWN BY TMS CHECKED BY CDS/RLL  
 DATE 04/23/2021 REVISIONS

LOWER LEVEL  
PIPING PLAN

M201



**M211 KEY NOTES**

1. EXISTING CABINET UNIT HEATER TO REMAIN, CLEAN AND REPAIR TO LIKE NEW CONDITION, CLEAN DUST AND DEBRIS FROM FINS/COILS.
2. EXISTING THERMOSTAT FOR CABINET UNIT HEATER TO REMAIN, VERIFY THERMOSTAT IS IN GOOD WORKING ORDER REPAIR OR REPLACE IF DEFECTIVE.
3. EXISTING HOT WATER SUPPLY AND RETURN PIPING TO REMAIN, PROVIDE PIPE INSULATION AS REQUIRED.
4. EXISTING THERMOSTAT FOR FIN TUBE RADIATION TO REMAIN, VERIFY THERMOSTAT IS IN GOOD WORKING ORDER REPAIR OR REPLACE IF DEFECTIVE.
5. EXISTING FIN-TUBED RADIATION TO REMAIN, CLEAN AND REPAIR TO LIKE NEW CONDITION, CLEAN DUST AND DEBRIS FROM FINS/COILS.

**1 FIRST FLOOR PIPING PLAN**  
1/4" = 1'-0"

**90%  
SUBMITTAL  
04-23-2021**



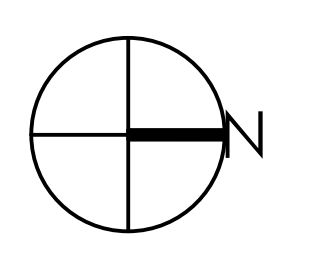
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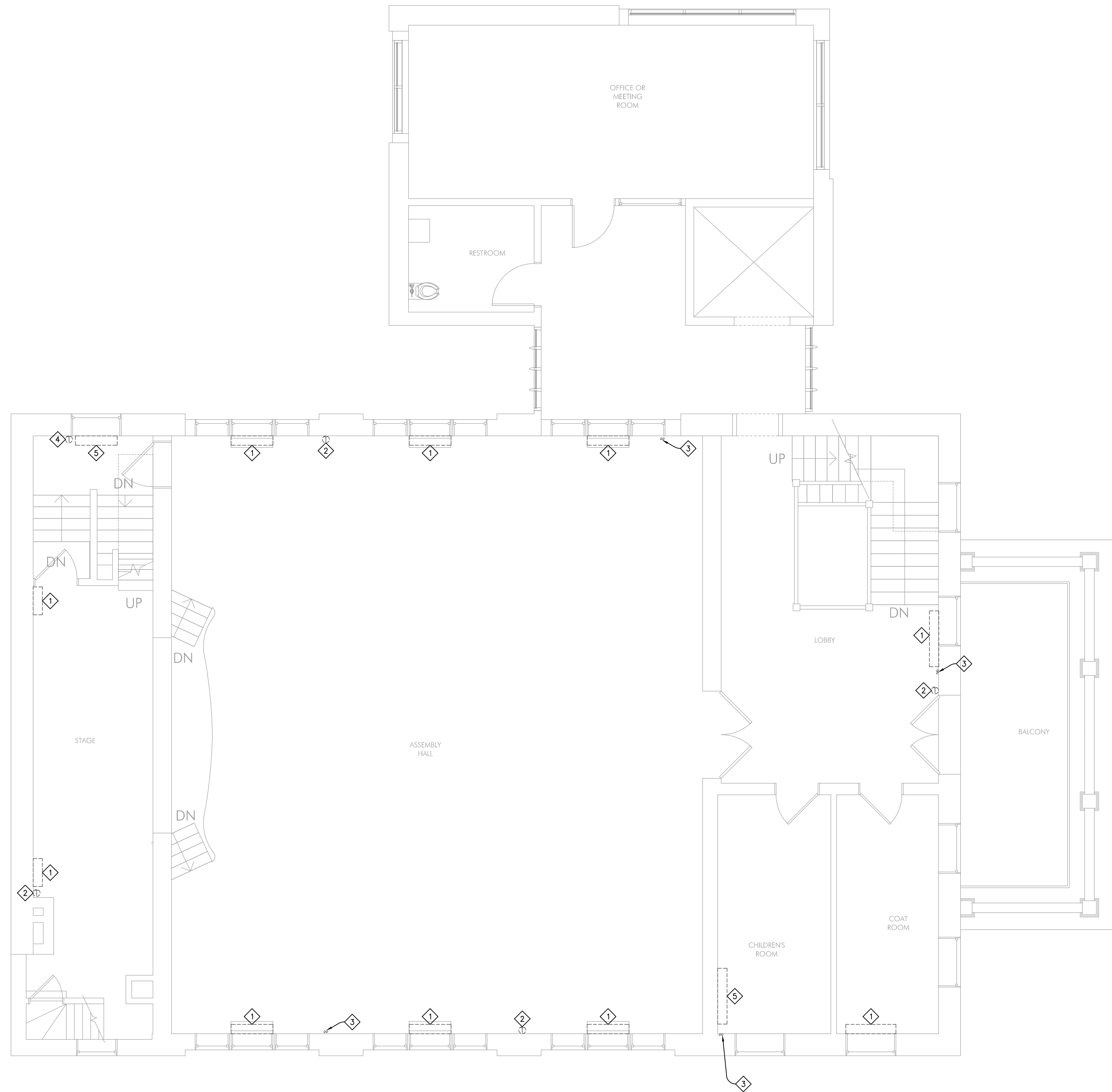
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FIRST FLOOR  
PIPING PLAN

M211



**M221 KEY NOTES**

1. EXISTING CABINET UNIT HEATER TO REMAIN. CLEAN AND REPAIR TO LIKE NEW CONDITION, CLEAN DUST AND DEBRIS FROM FINS/COILS.
2. EXISTING THERMOSTAT FOR CABINET UNIT HEATER TO REMAIN. VERIFY THERMOSTAT IS IN GOOD WORKING ORDER REPAIR OR REPLACE IF DEFECTIVE.
3. EXISTING HOT WATER SUPPLY AND RETURN PIPING TO REMAIN. PROVIDE PIPE INSULATION AS REQUIRED.
4. EXISTING THERMOSTAT FOR FIN TUBE RADIATION TO REMAIN. VERIFY THERMOSTAT IS IN GOOD WORKING ORDER REPAIR OR REPLACE IF DEFECTIVE.
5. EXISTING FIN-TUBED RADIATION TO REMAIN. CLEAN AND REPAIR TO LIKE NEW CONDITION, CLEAN DUST AND DEBRIS FROM FINS/COILS.

**1 SECOND FLOOR PIPING PLAN**  
1/4" = 1'-0"

**90%  
SUBMITTAL  
04-23-2021**



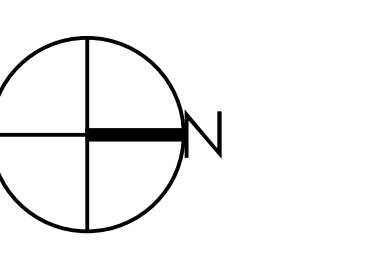
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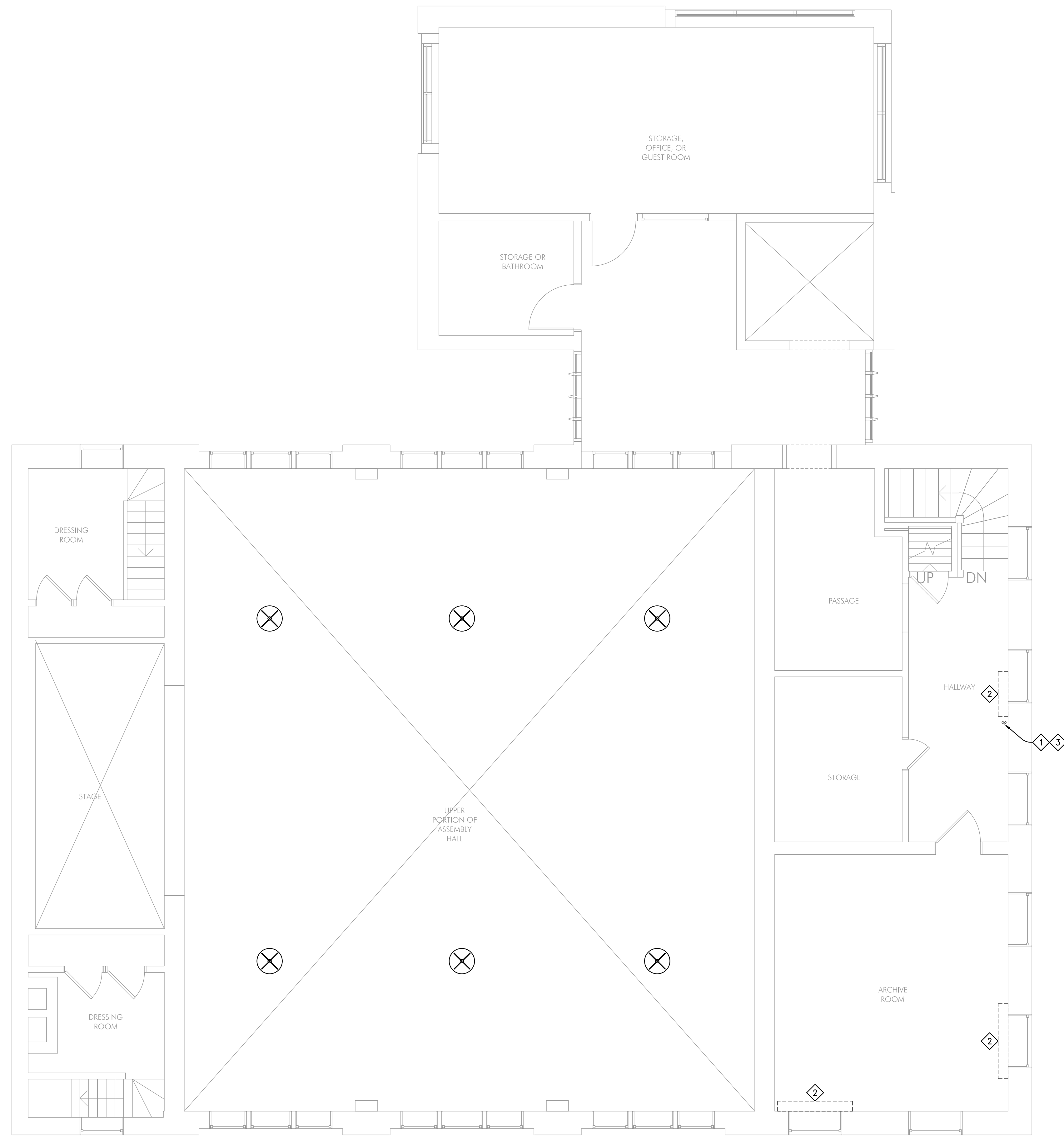
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SECOND FLOOR  
PIPING PLAN

M221



**M231 KEY NOTES**

1. EXISTING HOT WATER SUPPLY AND RETURN PIPING TO REMAIN, PROVIDE PIPE INSULATION AS REQUIRED.
2. EXISTING FIN-TUBED RADIATION TO REMAIN, CLEAN AND REPAIR TO LIKE NEW CONDITION, CLEAN DUST AND DEBRIS FROM FINS/COILS.
3. EXISTING AIR SEPARATOR VENT TO REMAIN.

**1 THIRD FLOOR PIPING PLAN**  
1/4" = 1'-0"

90%  
SUBMITTAL  
04-23-2021



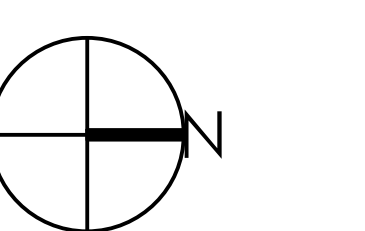
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THIRD FLOOR  
PIPING PLAN

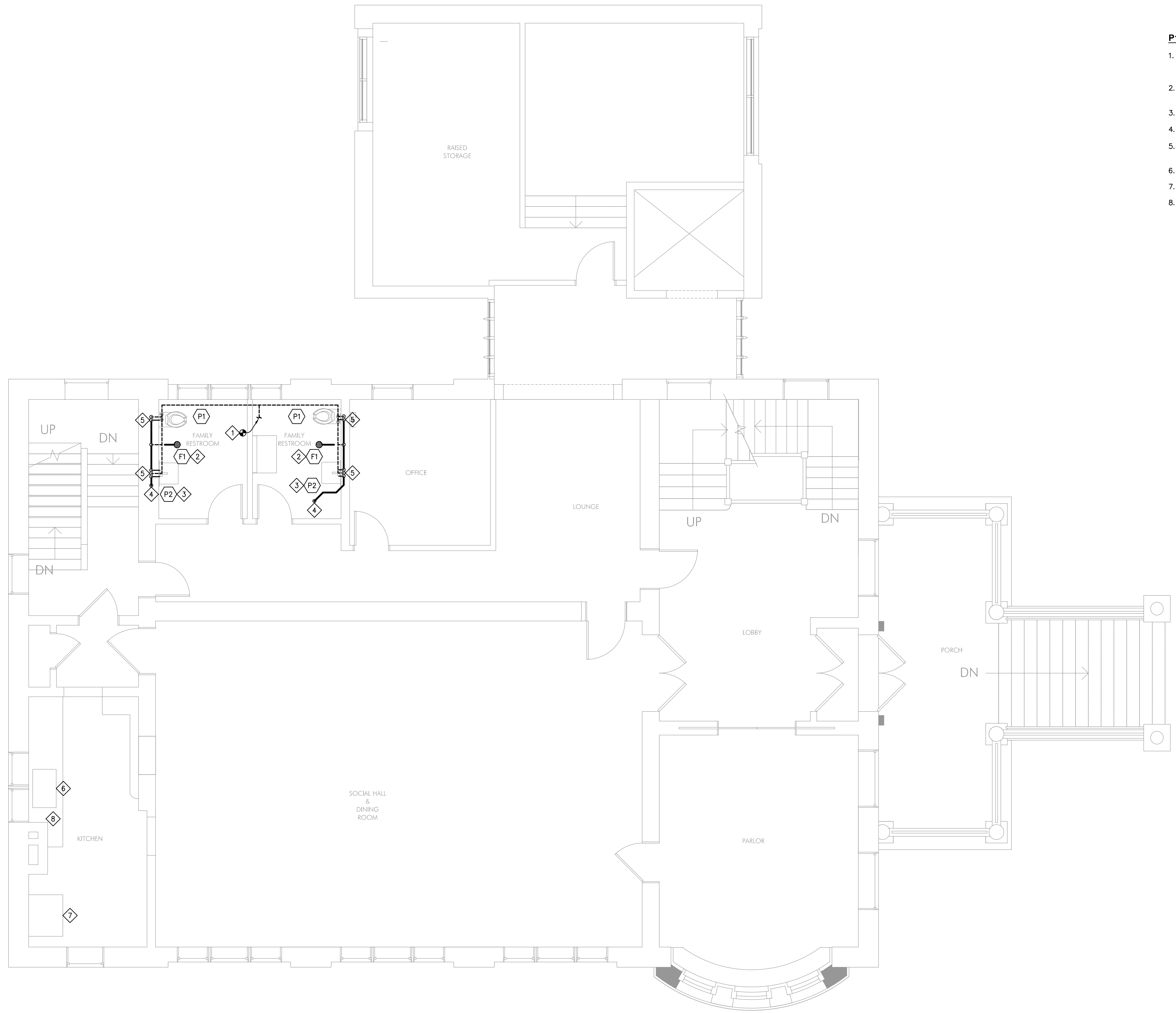
M231











**P111 KEY NOTES**

1. CONNECT NEW 2" VENT PIPING TO EXISTING 2" (MIN) VENT PIPING. FIELD VERIFY EXACT LOCATION AND SIZE OF VENT PIPING PRIOR TO ROUGH-IN OF NEW VENT SYSTEM.
2. PROVIDE TRAP PRIMER WITH ACCESSIBLE SHUT-OFF VALVE, AND DISTRIBUTOR AS REQUIRED. EXTEND 1/2" PIPING TO EACH FLOOR DRAIN.
3. PROVIDE THERMOSTATIC MIXING VALVE.
4. EXTEND 4" SANITARY SEWER PIPING UP FROM FLOOR BELOW.
5. EXTEND 1/2" CW AND HW PIPING UP FROM FLOOR BELOW. FIELD VERIFY EXACT LOCATION OF CW AND HW PIPING PRIOR TO ROUGH-IN.
6. EXISTING 2-COMPARTMENT SINK TO REMAIN.
7. EXISTING GAS RANGE AND EXHAUST HOOD TO REMAIN.
8. EXISTING HAND SINK TO REMAIN.

**1 FIRST FLOOR PLUMBING PLAN**  
1/4" = 1'-0"

**90%  
SUBMITTAL  
04-23-2021**



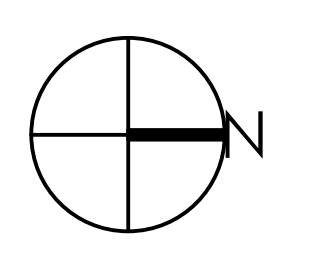
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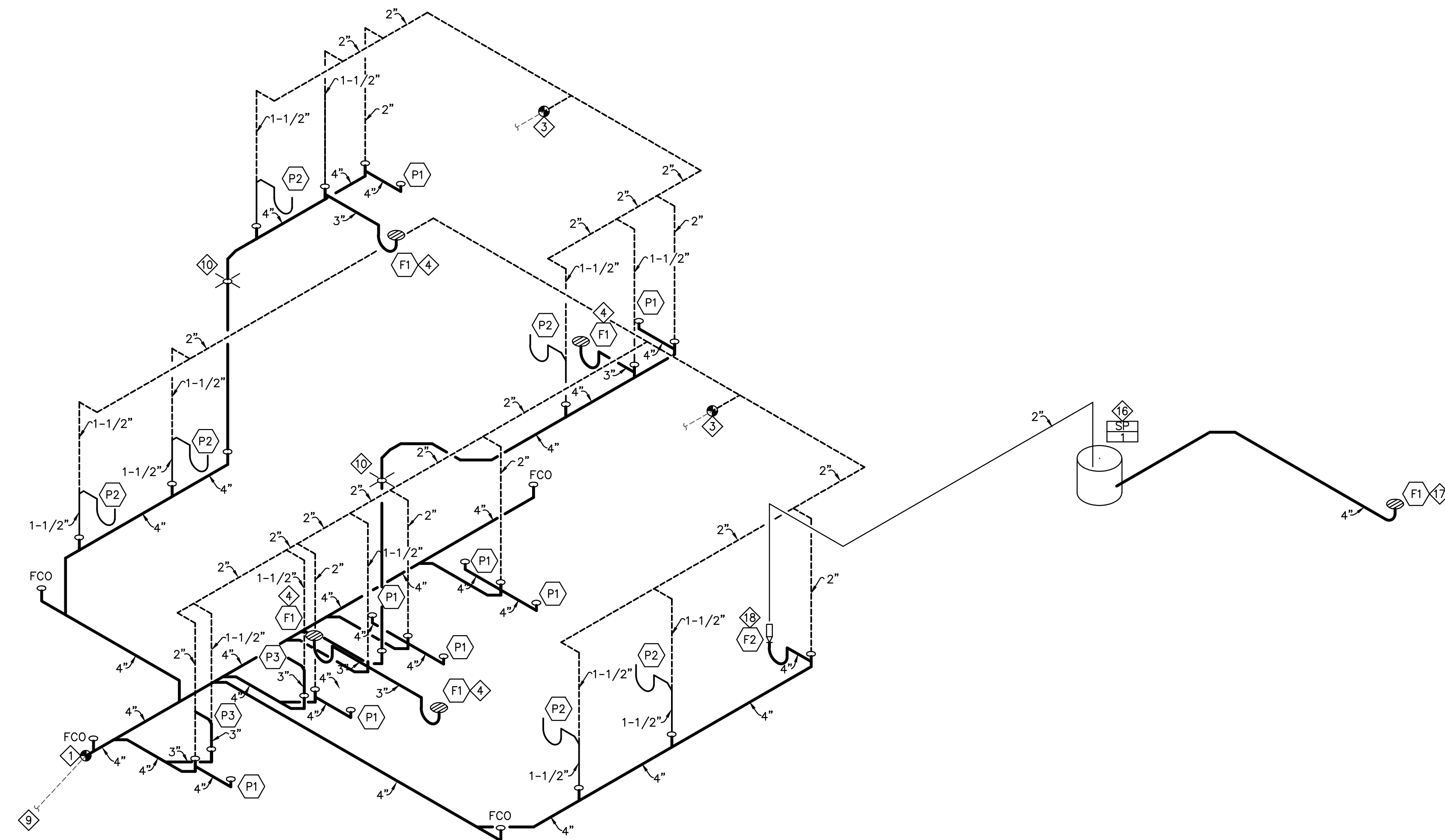
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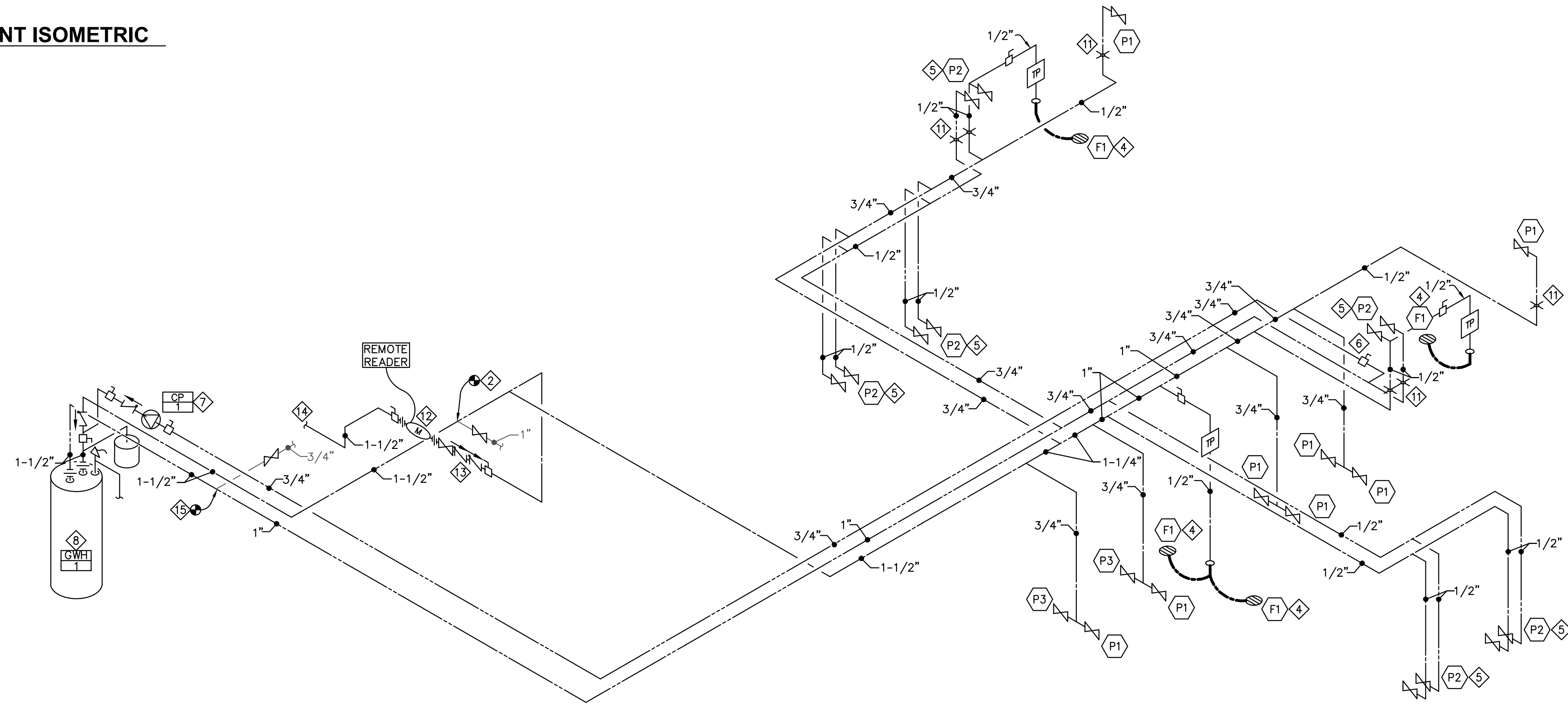
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FIRST FLOOR  
PLUMBING  
PLAN

P111



**2 WASTE & VENT ISOMETRIC**



**1 WATER ISOMETRIC**  
N.T.S.

- P601 KEY NOTES**
1. EXTEND AND CONNECT NEW 4" SANITARY SEWER TO EXISTING 4" (MIN) SANITARY SEWER PIPING. FIELD VERIFY EXACT LOCATION, SIZE, FLOW DIRECTION, AND INVERT ELEVATION OF CONNECTION POINT PRIOR TO ROUGH-IN OF NEW SANITARY SEWER. PROVIDE FCO AT POINT OF CONNECTION TO EXISTING.
  2. CONNECT EXISTING 1" COLD WATER PIPING TO NEW 1-1/2" COLD WATER PIPING. FIELD VERIFY EXACT LOCATION OF EXISTING CW PIPING PRIOR TO ROUGH-IN. PROVIDE SHUTOFF VALVE AT POINT OF CONNECTION TO NEW PIPING.
  3. CONNECT NEW 2" VENT PIPING TO EXISTING 2" (MIN) VENT PIPING. FIELD VERIFY EXACT LOCATION AND SIZE OF VENT PIPING PRIOR TO ROUGH-IN OF NEW VENT SYSTEM.
  4. PROVIDE TRAP PRIMER ABOVE WITH ACCESSIBLE SHUT-OFF VALVE, AND DISTRIBUTOR AS REQUIRED. EXTEND 1/2" PIPING TO EACH FLOOR DRAIN.
  5. PROVIDE THERMOSTATIC MIXING VALVE.
  6. HOT WATER RECIRCULATION BALANCING VALVE WITH FLOW MEASUREMENT ORIFICES. SET FOR 1.0 GPM. MOUNT VALVE 1' ABOVE THE CEILING.
  7. COORDINATE THE INSTALLATION OF THE INLINE HOT WATER RECIRCULATION PUMP CP-1, EXPANSION TANK AND CHECK VALVE ASSEMBLY.
  8. REPLACE EXISTING GAS WATER HEATER WITH NEW A.O. SMITH BTH-120 GAS WATER HEATER. CONNECT NEW GAS PIPING TO EXISTING GAS PIPING AND ROUTE NEW 3" PVC FLUE TO EXTERIOR WALL WITH CONCENTRIC VENT KIT. SEE DETAIL 3/P700.
  9. EXISTING SANITARY SEWER MAIN TO REMAIN. SNAKE ALL EXISTING SANITARY SEWER PIPING OUT TO STREET.
  10. EXTEND 4" SANITARY SEWER PIPING UP TO 1ST FLOOR LEVEL, SEE SHEET P111 FOR CONTINUATION.
  11. EXTEND 1/2" CW AND HW PIPING UP TO 1ST FLOOR LEVEL, SEE SHEET P111 FOR CONTINUATION. FIELD VERIFY EXACT LOCATION OF CW AND HW PIPING PRIOR TO ROUGH-IN.
  12. PROVIDE WATER METER WITH REMOTE READER IN ACCORDANCE WITH CITY REQUIREMENTS. INSTALL REMOTE READER WHERE DIRECTED BY CITY.
  13. PROVIDE DOUBLE CHECK VALVE ASSEMBLY BACKFLOW PREVENTER (BFP-1) WITH ISOLATION VALVES AT 36" AFF.
  14. REPLACE EXISTING WATER SERVICE TO THE BUILDING WITH A NEW 1-1/2" WATER SERVICE MAIN, SEE WATER SERVICE DETAIL 4/P700.
  15. CONNECT EXISTING 3/4" HOT WATER PIPING TO NEW 1-1/2" HOT WATER PIPING. FIELD VERIFY EXACT LOCATION OF EXISTING HW PIPING PRIOR TO ROUGH-IN. PROVIDE SHUTOFF VALVE AT POINT OF CONNECTION TO NEW PIPING.
  16. SUMP PUMP WITH "OIL MINDER" CONTROLS FOR ELEVATOR PIT DRAINAGE. SEE DETAIL 5/P700.
  17. FLOOR DRAIN TO BE PIPED WITH NO TRAP.
  18. EXTEND DISCHARGE PIPE FROM SUMP UP, OVER AND DOWN ALONG WALL TO DISCHARGE AT HUB DRAIN. PROVIDE 2" AIR GAP AT DISCHARGE.

90%  
SUBMITTAL  
04-23-2021



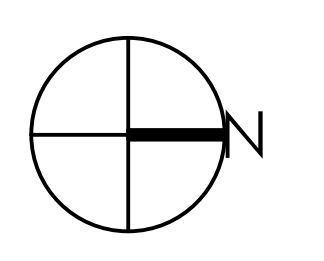
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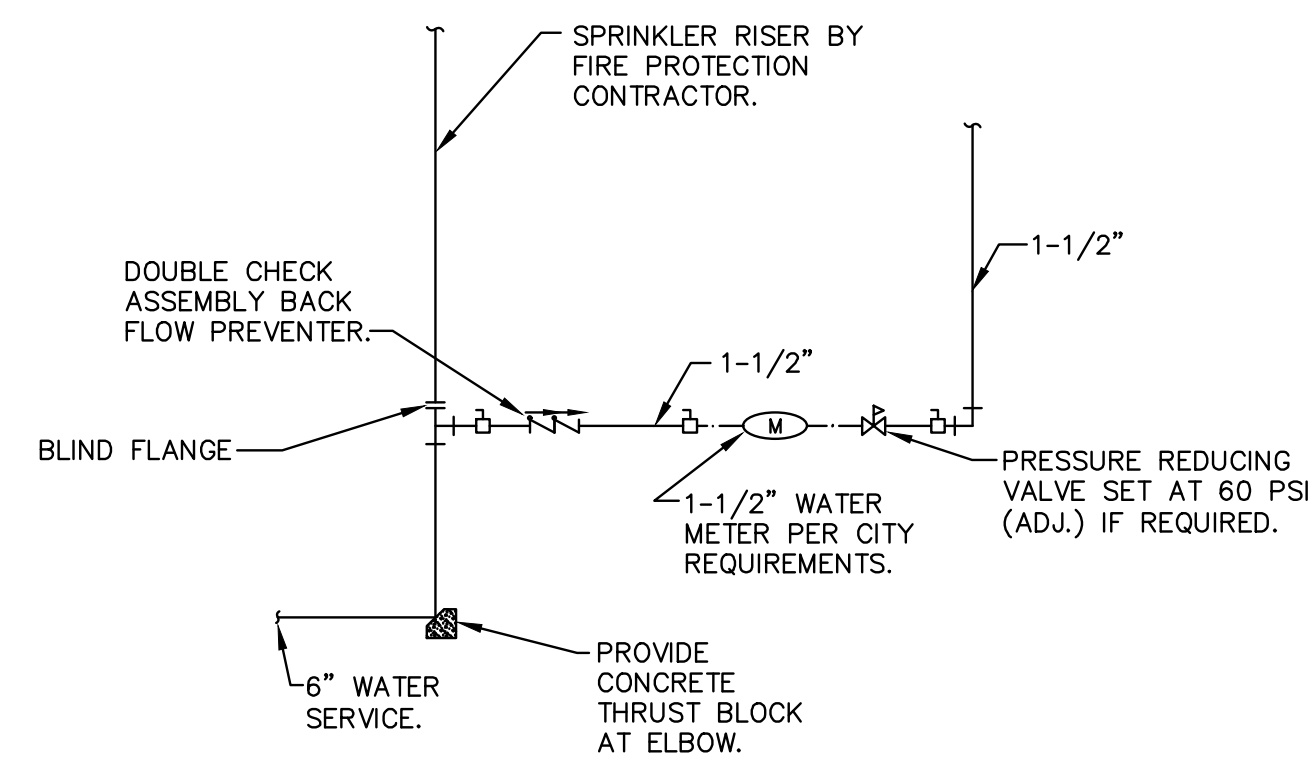
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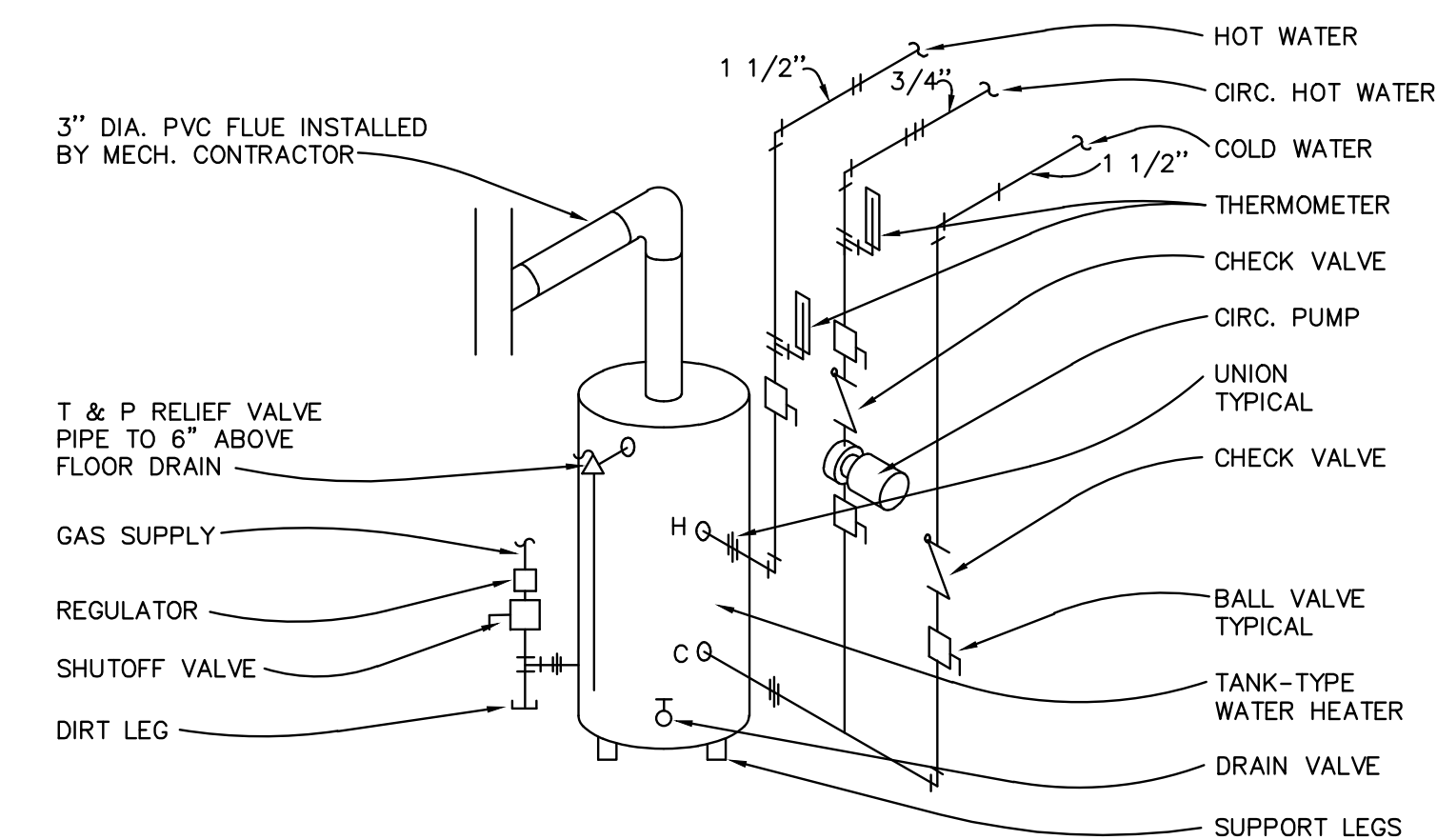
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PLUMBING  
RISER DIAGRAMS

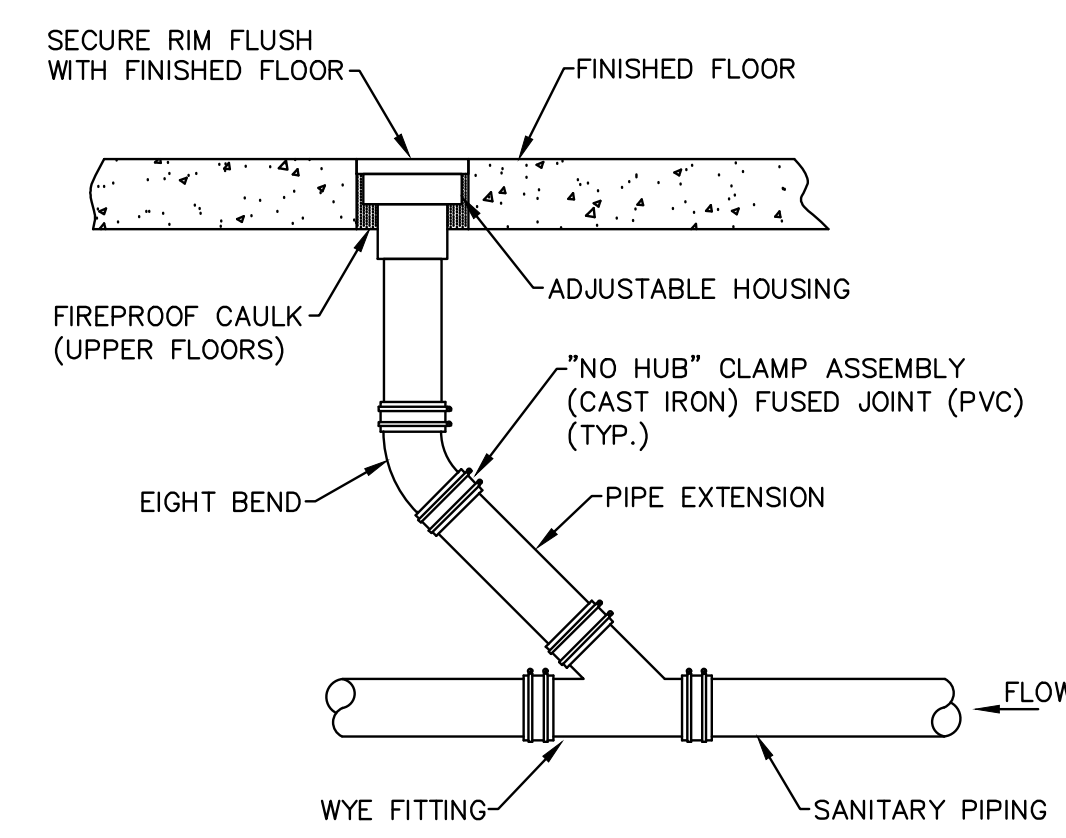
P601



**4 WATER SERVICE DETAIL**  
SCALE: NO SCALE

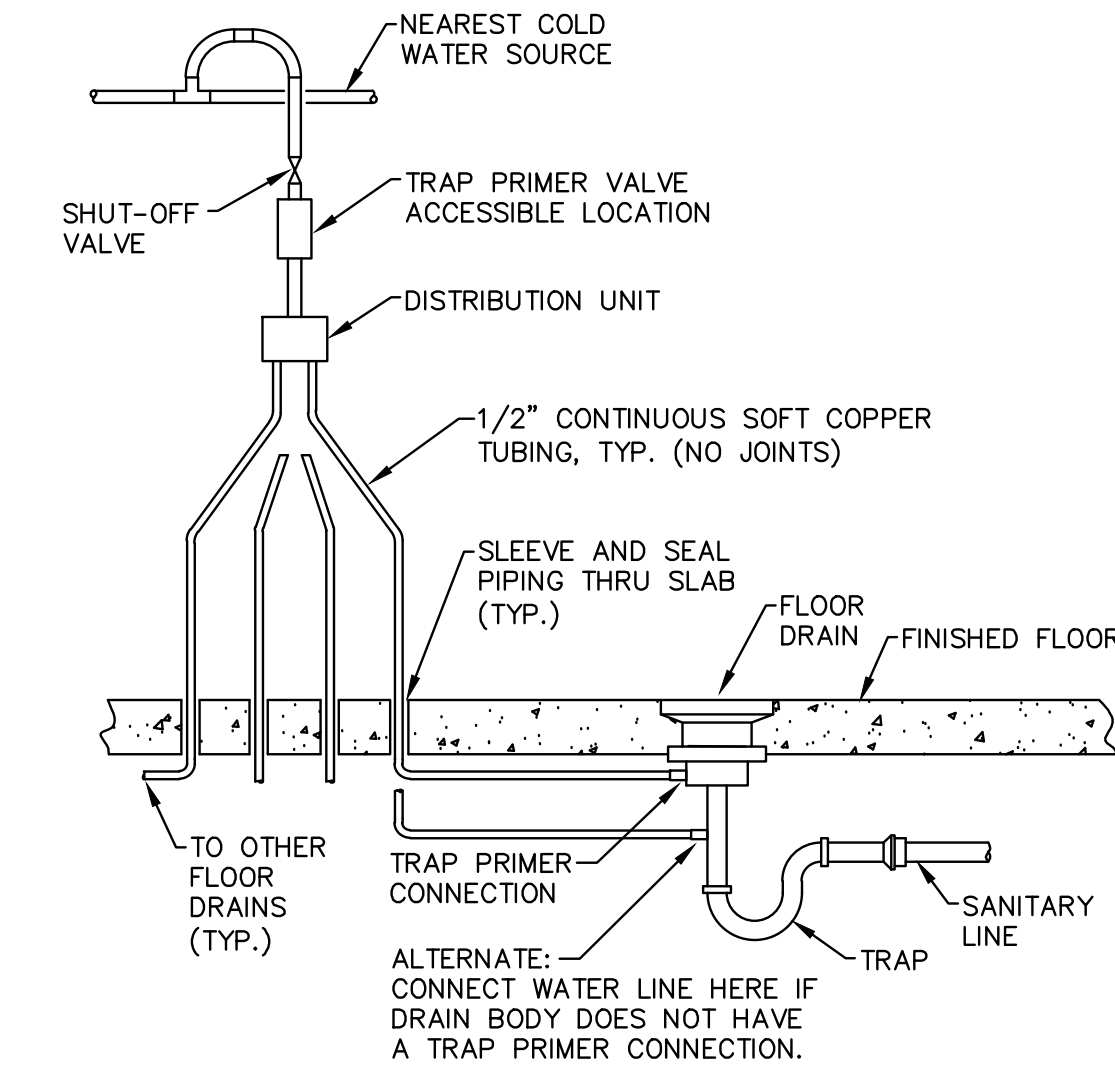


**3 WATER HEATER DETAIL**  
SCALE: NO SCALE

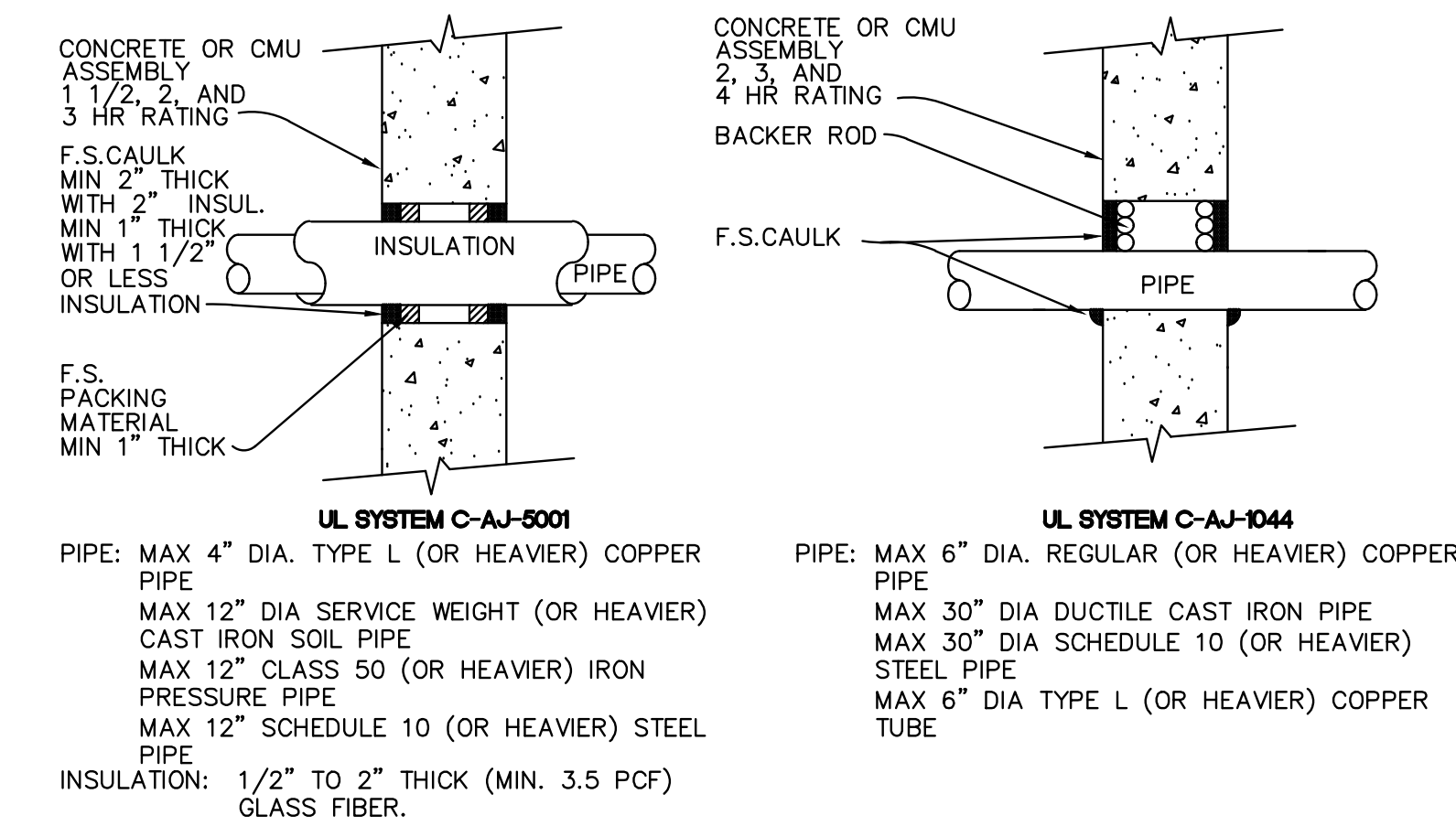


GENERAL NOTE:  
1. CLEANOUT SHALL BE THE SAME SIZE AS THE PIPE TO WHICH IT IS CONNECTED TO 4". FOR PIPES LARGER THAN 4", THE MINIMUM SIZE OF THE CLEANOUT IS 4".

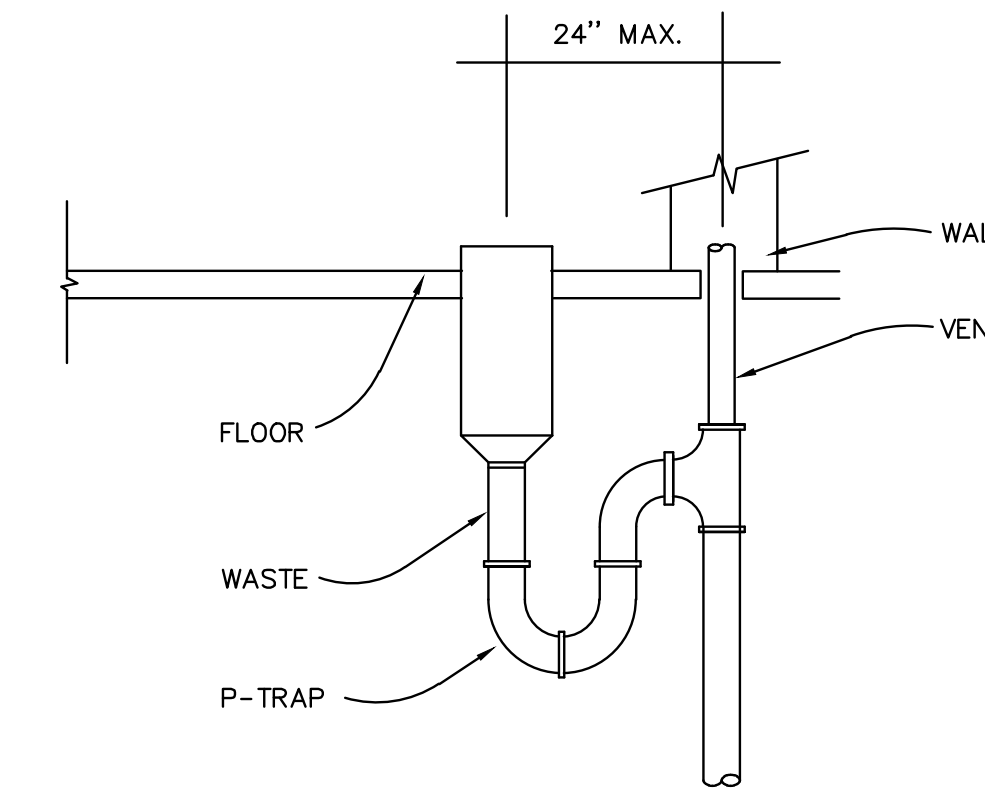
**2 FLOOR CLEANOUT DETAIL**  
SCALE: NO SCALE



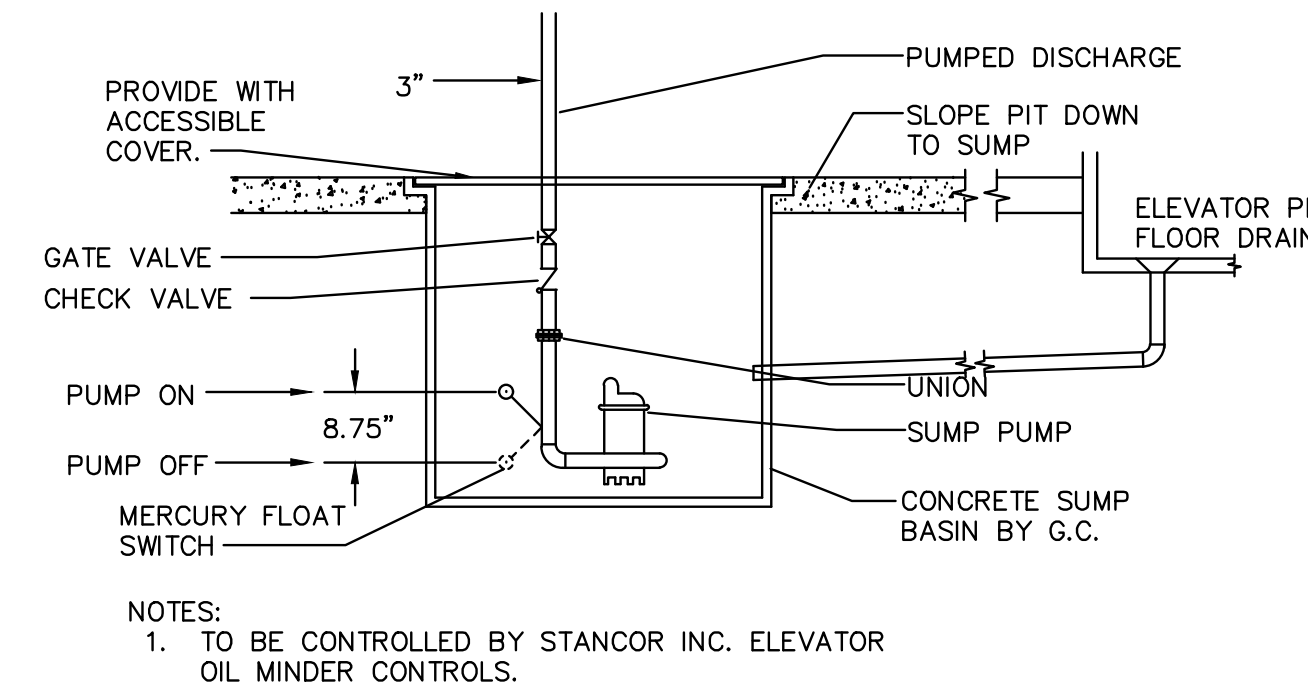
**1 TRAP PRIMER DETAIL**  
SCALE: NO SCALE



**7 PIPE PENETRATIONS AT FLOOR OR WALL**  
NO SCALE



**6 HUB DRAIN**  
NO SCALE



**5 SUMP AND PUMP DETAIL (SP-1)**  
NO SCALE

90%  
SUBMITTAL  
04-23-2021

**HALLBERG ENGINEERING**  
Mechanical/Electrical Consulting Engineers  
1750 Commerce Court  
White Bear Lake, MN 55110  
(651) 748-1100 • Fax: (651) 748-9370

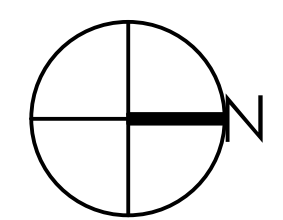
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PLUMBING  
DETAILS

P700

### PLUMBING FIXTURE SCHEDULE

FIXTURE NO.	FIXTURE TYPE	MANUFACTURER	TYPE & MODEL NO.	TRIM/FAUCET NO.	SUPPORT	PIPE SIZES					REMARKS
						TRAP	WASTE	VENT	CW	HW	
P1	WATER CLOSET	AMERICAN STANDARD	CADET NO. (WHITE) 2467.016	CHICAGO FAUCET 1016	FLOOR MOUNT	-	4"	2"	1/2"	-	VITREOUS CHINA, ADA COMPLIANT, 1.6 GPF, PRESSURE ASSISTED, WITH OPEN FRONT COMMERCIAL GRADE SEAT WITH CHECK HINGE AND CHROME TRIP LEVER.
P2	LAVATORY	AMERICAN STANDARD	LUCERNE (WHITE) 0355.012	CHICAGO FAUCET 802-A317CP	WALL HUNG	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	PROVIDE INSULATED CHROME P-TRAP, PROVIDE HANDICAP INSULATION KIT, (2) CHICAGO FAUCET 1016 ANGLE VALVES, PROVIDE CHICAGO NO. E2605.5 AERATOR, AND WALL CARRIER.
P3	URINAL	AMERICAN STANDARD	WASHBROOK (WHITE) 6501.511	MANUAL FLUSH VALVE	WALL MOUNT	-	3"	1-1/2"	3/4"	-	VITREOUS CHINA, ADA COMPLIANT, 1.0 GPF, MANUAL FLUSH VALVE.
P4	DRINKING FOUNTAIN	--	--	-	FLOOR MOUNT	-	-	-	-	-	EXISTING DRINKING FOUNTAIN TO REMAIN, REFURBISH/RETRO-FIT UNIT TO WORKING ORDER.
TP	TRAP PRIMER VALVE	PRECISION PLUMBING	OREGON NO. 1	-	-	-	-	-	1/2"	-	PROVIDE DISTRIBUTION UNIT FOR MULTIPLE DRAIN CONNECTIONS.
F1	FLOOR DRAIN	J.R. SMITH	SERIES 2005	-	-	3"	3"	1-1/2"	-	-	FLAT STRAINER WITH POLISHED NICKEL BRONZE TOP, PROVIDE 1/2" TRAP PRIMER CONNECTION WHERE INDICATED ON PLANS, POLISHED NICKEL BRONZE TOP
F2	HUB DRAIN	ZURN	#3326	-	-	4"	4"	2"	-	-	4" INDIRECT WASTE FUNNEL, FUNNEL TOP 8-5/8", DURA-COATED CAST IRON BODY AND BOTTOM OUTLET, 9 7/8" BODY HEIGHT.
FCO	FLOOR CLEAN OUT	J.R. SMITH	SERIES 4020	-	-	-	4"	-	-	-	POLISHED NICKEL BRONZE COVER.

### GAS WATER HEATER SCHEDULE

UNIT NO.	MANUFACTURER	MODEL	BTU/HR	CAPACITY (GAL.)	STAGES	VOLTAGE	OUTPUT (GPH @ 100' RISE)	REMARKS
GWH-1	A.O. SMITH	CYCLONE BTH-120	120,000	60	1	120/1/60	138.0	NEW HIGH EFFICIENCY GAS WATER HEATER WITH CONCENTRIC VENT KIT.

### CIRCULATION / SUMP PUMP SCHEDULE

ITEM NO.	MANUFACTURER	MODEL	VOLTAGE	HP	GPM	FT. HD.	REMARKS
CP-1	BELL & GOSSETT	NBF-22U/LW	115/1/60	1/12	1.0	10	PROVIDE AQUASTAT FOR PUMP CONTROL
SP-1	ZOELLER	153-0027	115/1/60	1/2	52.0	20	PROVIDE OIL GUARD ELEVATOR PUMP PACKAGE 940-0013.

REMARKS:  
1. ACCEPTABLE MANUFACTURERS; BELL AND GOSSETT, LIBERTY, WEIL AND ARMSTRONG.

### BACKFLOW PREVENTER SCHEDULE

UNIT TAG	BFP-1
MANUFACTURER	WATTS
MODEL NUMBER	007
SERVICE TYPE	DOMESTIC WATER
DOUBLE CHECK	
SIZE	1"
REMARKS	1

REMARKS:  
1. ACCEPTABLE MANUFACTURERS; FEBCO, ZURN, AMES, CONBRACO.

90%  
SUBMITTAL  
04-23-2021



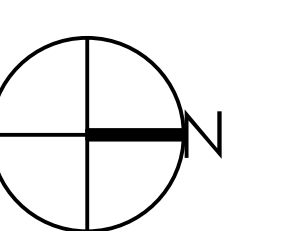
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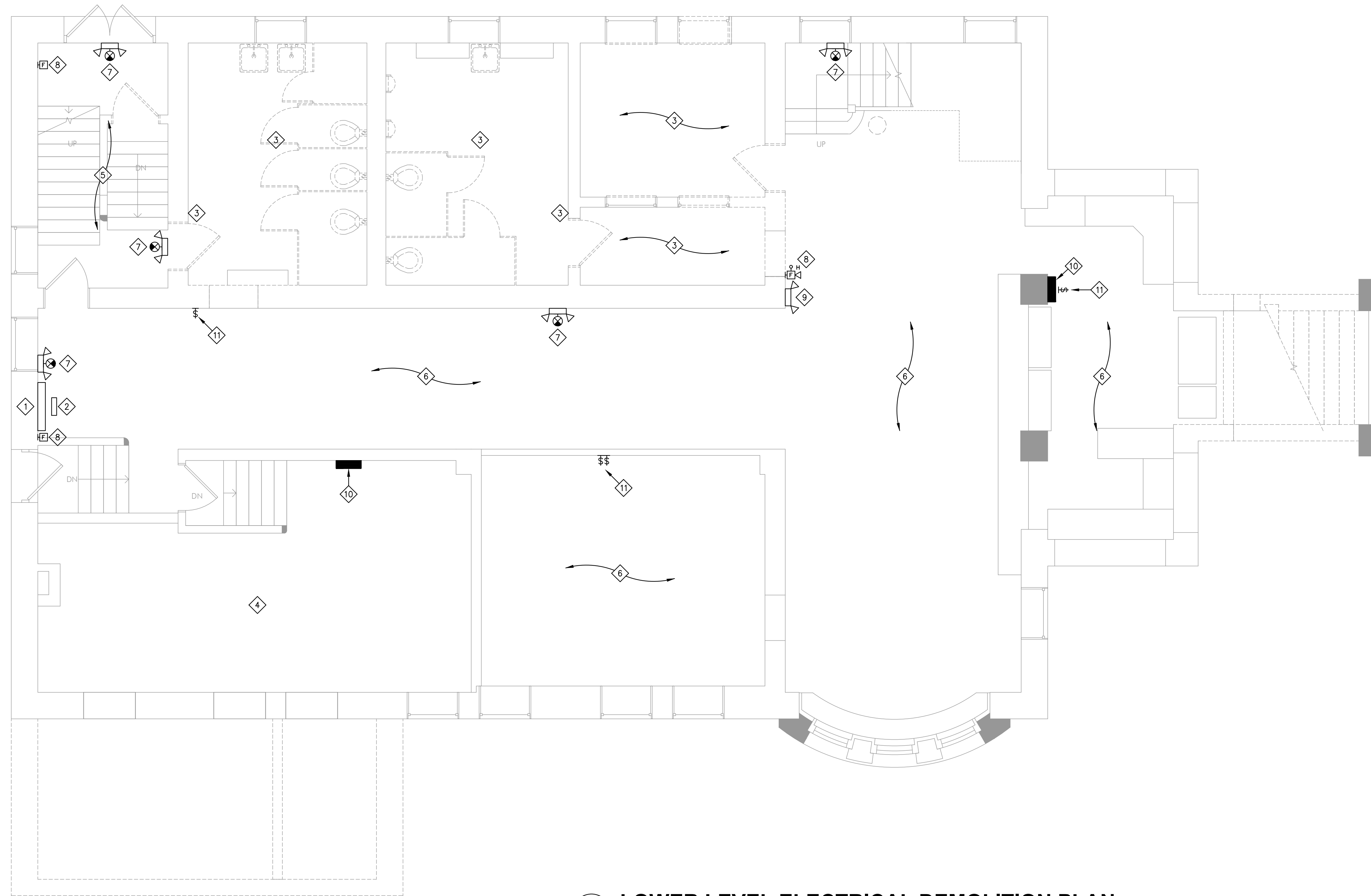


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PLUMBING  
SCHEDULES

P800





**1 LOWER LEVEL ELECTRICAL DEMOLITION PLAN**  
1/4" = 1'-0"

**GENERAL NOTES**

- A. REFER TO THE ARCHITECTURAL SPECIFICATIONS DIVISION 0 AND DIVISION 1 FOR SCHEDULING REQUIREMENTS. MAINTAIN SERVICES TO OCCUPIED AREAS OF THE BUILDING DURING CONSTRUCTION. PROVIDE TEMPORARY SERVICES AS REQUIRED.
- B. EXISTING DEVICES NOT SHOWN ON THIS PLAN ARE TO REMAIN. MAINTAIN CIRCUIT CONTINUITY.
- C. DEMOLISH ALL ELECTRICAL ITEMS SCHEDULED FOR DEMOLITION COMPLETE. DO NOT ABANDON CONDUIT, WIRE, HANGERS, ETC. IN PLACE. WHERE EXISTING BRANCH CIRCUITS ARE INTERCEPTED MAINTAIN POWER TO ALL ACTIVE DEVICES THAT REMAIN.
- D. PROVIDE BLANK COVERPLATE FOR ALL UNUSED DEVICE BOXES.
- E. REPLACE ALL LAY-IN CEILING TILES DAMAGED AS A RESULT OF THE ELECTRICAL WORK, UNLESS NOTED OTHERWISE.
- F. PROVIDE NEW SUPPORT FOR ANY LOW VOLTAGE CABLES ABOVE EXISTING CEILING THAT ARE PRESENTLY SUPPORTED BY WALLS AND CEILINGS SLATED FOR DEMOLITION. PROVIDE NEW INDEPENDENT SUPPORTING OF THESE CABLES FROM STRUCTURE (SUPPORT FOR THESE CABLES IS NOT TO BE SUPPORTED FROM CEILING SUPPORT CABLES). THE REQUIREMENTS INCLUDE PROVIDING NEW INDEPENDENT SUPPORTS OF CONDUIT STUBS AND CABLE TRAY PRESENTLY ROUTED THROUGH WALLS SLATED FOR DEMOLITION.
- G. REMOVE AND REINSTALL CEILINGS AS NEEDED FOR ELECTRICAL DEMOLITION, NEW ELECTRICAL WORK AND MODIFICATIONS TO EXISTING ELECTRICAL WORK UNLESS NOTED OTHERWISE.
- H. THE DIVISION 26 CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ANY DEFICIENCIES AND/OR IMPERFECTIONS ON ANY DEVICE SCHEDULED TO BE REMOVED AND REINSTALLED PRIOR TO COMMENCING DEMOTION WORK. REPORT DEFICIENCIES TO ARCHITECT/OWNER.
- I. SEAL ALL HOLES LEFT IN SMOKE OR FIRE RATED WALLS, FLOORS, OR CEILINGS COMPLETELY WITH U.L. LISTED INTUMESCENT TYPE FIRE BARRIERS.
- J. PATCH AND PAINT ALL WALL, FLOOR, AND CEILING SURFACES DAMAGED AS A RESULT OF THE ELECTRICAL WORK TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE.

**KEY NOTES**

- 1 DEMOLISH EXISTING ELECTRICAL PANELS AND RELATED EQUIPMENT ON THIS WALL. DISCONNECT EXISTING BRANCH CIRCUIT FEEDER WIRES FROM EXISTING ELECTRICAL PANELS P-1 AND P-2 AND SALVAGE FOR EXTENSION TO NEW ELECTRICAL PANELS 'A' AND 'B' IN THE BOILER ROOM. ALL ACTIVE BRANCH CIRCUITS IN THESE PANELS ARE TO BE EXTENDED TO NEW ELECTRICAL PANELS.
- 2 EXISTING FIRE ALARM PANEL TO BE RELOCATED TO BOILER ROOM. REFER TO SHEET E201 FOR LOCATION. DISCONNECT EXISTING FIRE ALARM DEVICE WIRING FROM EXISTING FIRE ALARM PANEL AND SALVAGE FOR EXTENSION TO NEW LOCATION.
- 3 DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES AND LIGHTING CONTROL SWITCHES COMPLETE IN THIS AREA/ROOM UNLESS NOTED OTHERWISE. GIVE OWNER THE OPTION TO KEEP LIGHTING, IF OWNER DECLINES, DEMOLISH COMPLETE. MAINTAIN LIGHTING CIRCUITRY/WIRING FOR CONNECTION TO NEW LIGHTING. REFER TO SHEETS E101 AND E201 FOR NEW LIGHTING AND POWER REQUIREMENTS.
- 4 DISCONNECT EXISTING ELECTRICAL CONNECTIONS TO EXISTING BOILERS (4) AND PUMPS (2) COMPLETE.
- 5 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
- 6 DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES COMPLETE IN THIS AREA/ROOM UNLESS NOTED OTHERWISE. GIVE OWNER THE OPTION TO KEEP LIGHTING, IF OWNER DECLINES, DEMOLISH COMPLETE. MAINTAIN EXISTING LIGHTING CIRCUITRY, AND SWITCHING CONTROL WIRING FOR CONNECTION TO NEW LIGHTING. REFER TO SHEETS E101 AND E201 FOR NEW LIGHTING AND POWER REQUIREMENTS.
- 7 EXISTING EXIT/EMERGENCY LIGHT FIXTURE TO REMAIN AND SHOWN FOR REFERENCE ONLY. MAINTAIN EXISTING CIRCUITRY.
- 8 EXISTING FIRE ALARM DEVICE TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- 9 EXISTING EMERGENCY LIGHT TO REMAIN AND SHOWN FOR REFERENCE ONLY. MAINTAIN EXISTING CIRCUITRY.
- 10 EXISTING ELECTRICAL PANEL TO REMAIN AND SHOWN FOR REFERENCE ONLY. MAINTAIN EXISTING CIRCUITRY TO ALL EXISTING LOADS THAT ARE CIRCUITED TO THIS PANEL.
- 11 EXISTING LIGHTING CONTROL SWITCH TO REMAIN AND SHOWN FOR REFERENCE ONLY. SWITCH IS TO BE SALVAGED FOR REUSE/CONNECTION TO NEW LIGHTING BEING INSTALLED IN THIS AREA. REFER TO SHEET E101 FOR FURTHER INFORMATION.

**90%  
SUBMITTAL  
04-23-2021**



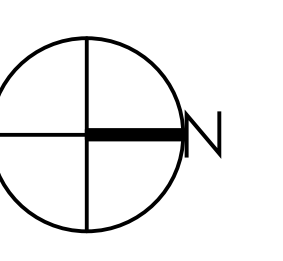
PROJECT NO.: R20-3835.002

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PRINTED NAME: Paul J. Fettingner

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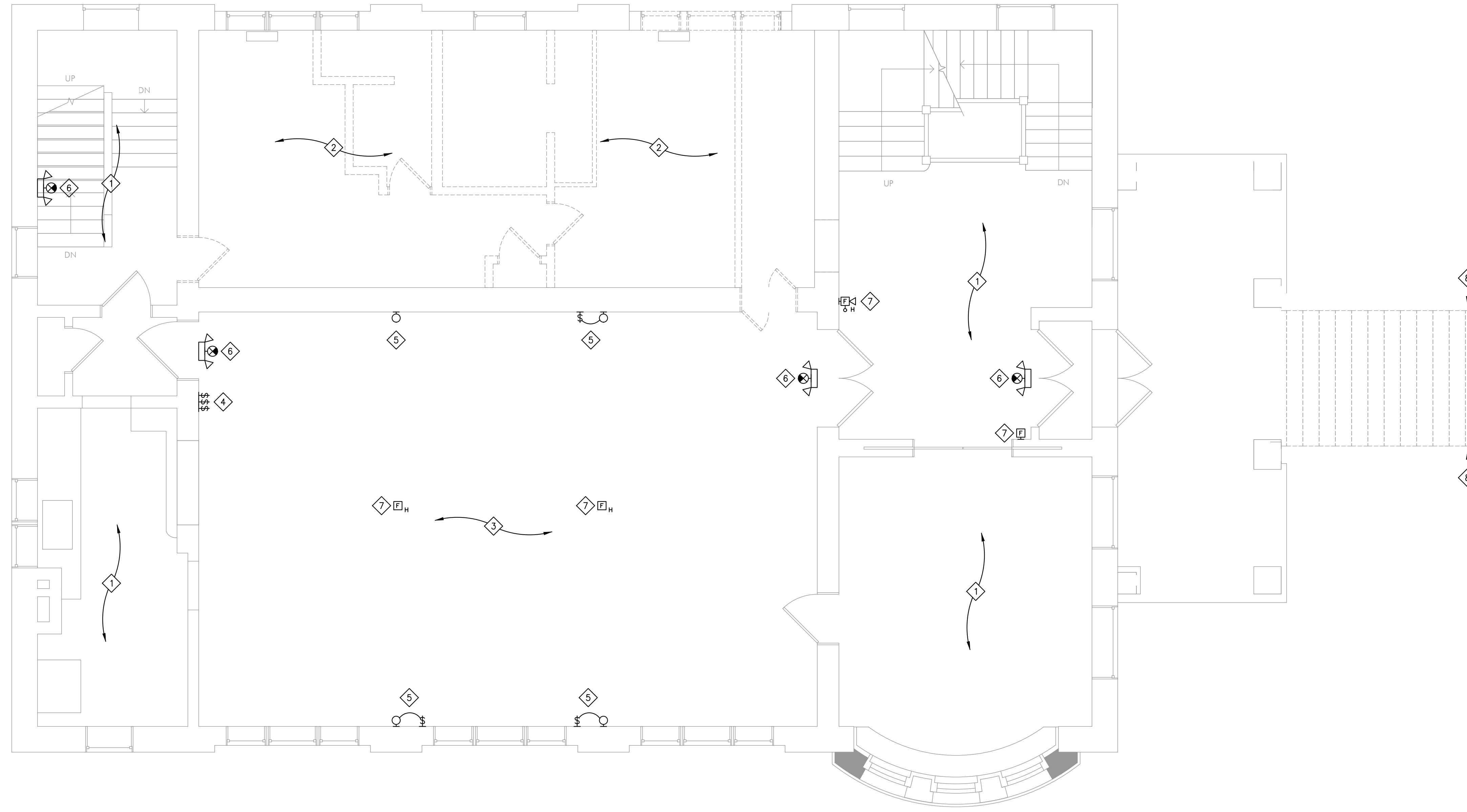
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No.	Description	Date



**CHARLES THOMPSON MEMORIAL HALL**  
Rehabilitation, HVAC Upgrade, and Addition  
1824 Marshall Avenue, Saint Paul, MN 55104  
DRAWN BY: DJQ  
CHECKED BY: PJF  
DATE: 04/23/2021  
REVISIONS

LOWER LEVEL  
ELECTRICAL  
DEMOLITION PLAN

**E001**



**KEY NOTES**

- 1 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
- 2 DISCONNECT AND REMOVE ALL EXISTING POWER, EXISTING LIGHTING FIXTURES AND LIGHTING CONTROL SWITCHES COMPLETE IN THIS AREA/ROOM UNLESS NOTED OTHERWISE. GIVE OWNER THE OPTION TO KEEP LIGHTING, IF OWNER DECLINES, DEMOLISH COMPLETE. MAINTAIN LIGHTING CIRCUITRY/WIRING FOR CONNECTION TO NEW LIGHTING. REFER TO SHEETS E111 AND E211 FOR NEW LIGHTING AND POWER REQUIREMENTS.
- 3 DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES COMPLETE IN THIS AREA/ROOM UNLESS NOTED OTHERWISE. GIVE OWNER THE OPTION TO KEEP LIGHTING, IF OWNER DECLINES, DEMOLISH COMPLETE. MAINTAIN EXISTING LIGHTING CIRCUITRY, AND SWITCHING CONTROL WIRING FOR CONNECTION TO NEW LIGHTING. REFER TO SHEETS E101 AND E201 FOR NEW LIGHTING AND POWER REQUIREMENTS.
- 4 LOCATION OF EXISTING LIGHTING CONTROL SWITCHES. SWITCHES TO REMAIN FOR CONNECTION TO NEW LIGHTING. REFER TO SHEET E111 FOR FURTHER INFORMATION.
- 5 WALL SCONCES AND CONTROL ARE EXISTING TO REMAIN. RELAMP WITH NEW LED BULBS. REFER TO SHEET E111 FOR FURTHER INFORMATION.
- 6 EXISTING EXIT/EMERGENCY LIGHT FIXTURE TO REMAIN AND SHOWN FOR REFERENCE ONLY. MAINTAIN EXISTING CIRCUITRY.
- 7 EXISTING FIRE ALARM DEVICE TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- 8 LIGHT POSTS TO BE REMOVED AND SALVAGED FOR RE-INSTALLATION. MAINTAIN EXISTING CONDUIT AND FEEDER WIRES. COORDINATE EXACT REQUIREMENTS WITH ARCHITECT PRIOR TO BID.

**1 FIRST FLOOR ELECTRICAL DEMOLITION PLAN**  
1/4" = 1'-0"

90%  
SUBMITTAL  
04-23-2021



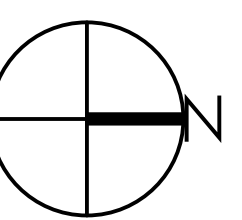
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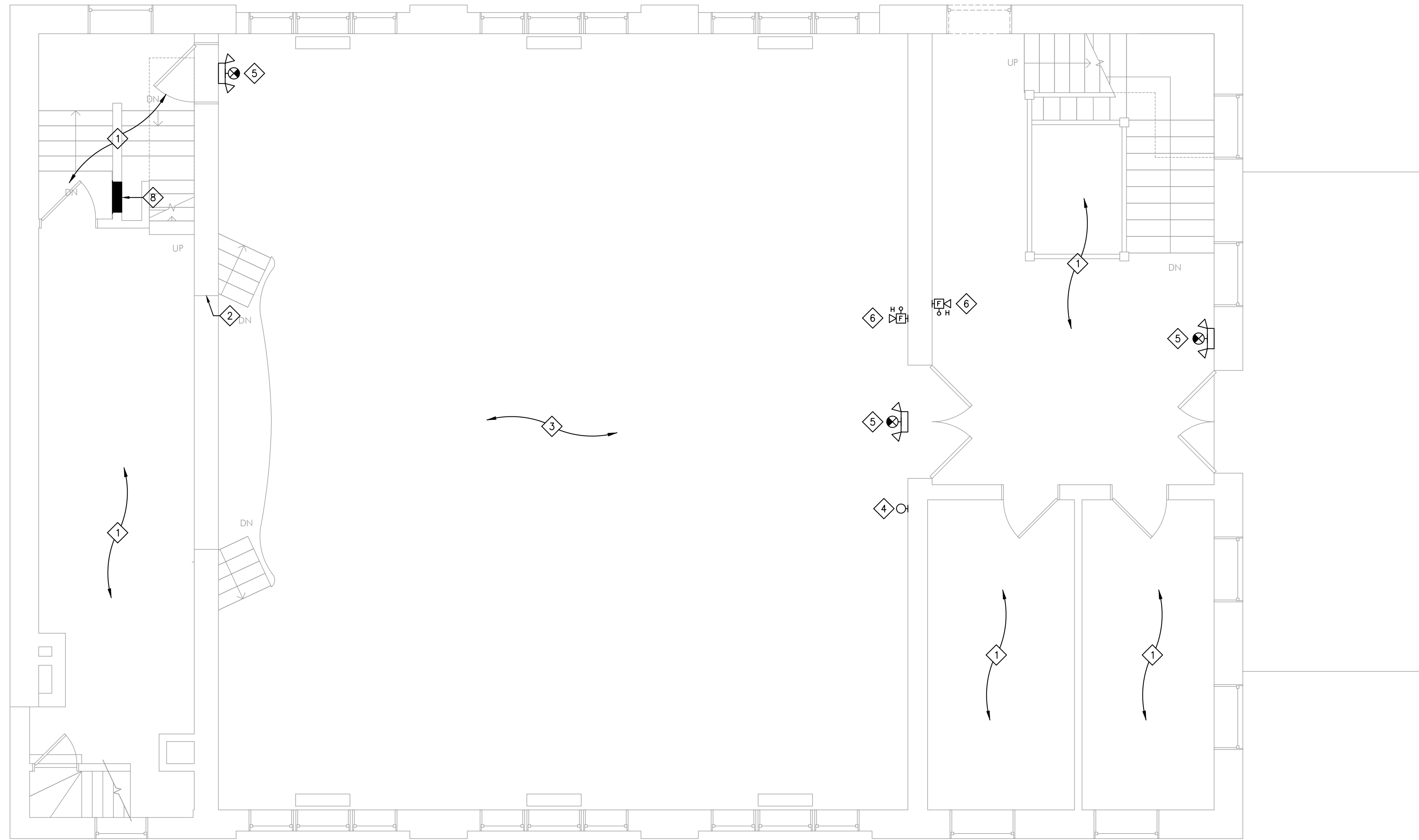
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FIRST FLOOR  
ELECTRICAL  
DEMOLITION PLAN

E011



**KEY NOTES**

- 1 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
- 2 LOCATION OF EXISTING LIGHTING CONTROL SWITCHES. SWITCHES TO REMAIN FOR REUSE/CONTROL OF EXISTING LIGHTING TO REMAIN IF APPLICABLE. REFER TO SHEET E131 FOR ADDITIONAL INFORMATION.
- 3 REFER TO SHEET E031 FOR LIGHTING NOTES IN THIS AREA.
- 4 WALL SCONCE AND CONTROL ARE EXISTING TO REMAIN. REFER TO SHEET E121 FOR FURTHER INFORMATION.
- 5 EXISTING EXIT/EMERGENCY LIGHT FIXTURE TO REMAIN AND SHOWN FOR REFERENCE ONLY. MAINTAIN EXISTING CIRCUITRY.
- 6 EXISTING FIRE ALARM DEVICE TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- 7 EXISTING EMERGENCY LIGHT TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- 8 EXISTING ELECTRICAL PANEL TO REMAIN AND SHOWN FOR REFERENCE ONLY. MAINTAIN EXISTING CIRCUITRY TO ALL EXISTING LOADS THAT ARE CIRCUITED TO THIS PANEL.

**1 SECOND FLOOR ELECTRICAL DEMOLITION PLAN**  
1/4" = 1'-0"

90%  
SUBMITTAL  
04-23-2021



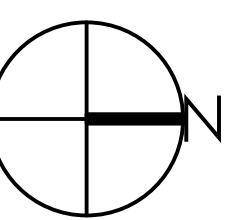
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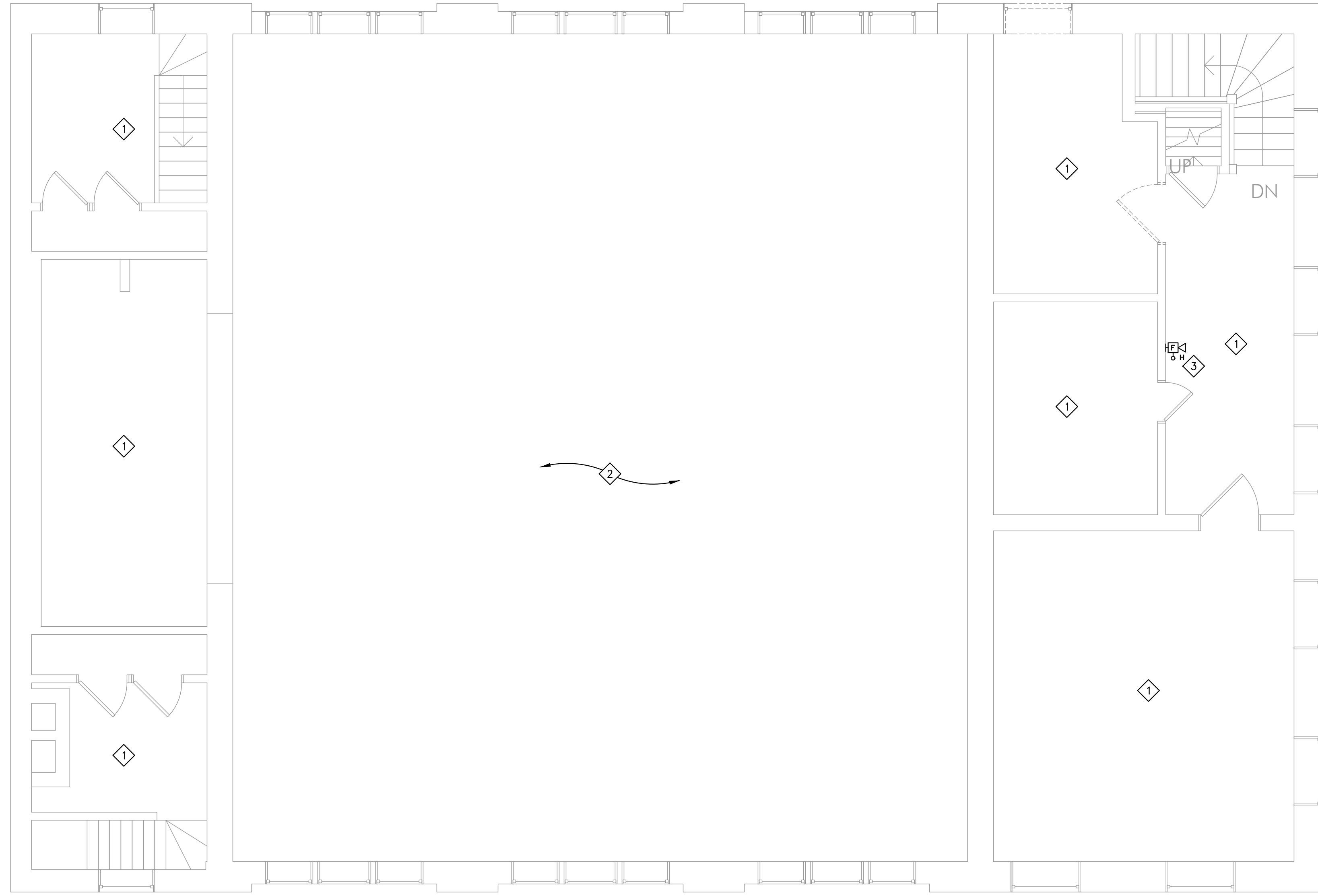


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SECOND FLOOR  
ELECTRICAL  
DEMOLITION PLAN

E021





**KEY NOTES**

- 1 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
- 2 DISCONNECT AND REMOVE EXISTING PENDANT MOUNTED ROW LIGHTING COMPLETE IN THIS AREA/ROOM UNLESS NOTED OTHERWISE. GIVE OWNER THE OPTION TO KEEP LIGHTING. IF OWNER DECLINES, DEMOLISH COMPLETE. MAINTAIN EXISTING LIGHTING CIRCUITRY FOR CONNECTION TO NEW LIGHTING. REFER TO SHEETS E101 AND E201 FOR NEW LIGHTING AND POWER REQUIREMENTS.
- 3 EXISTING FIRE ALARM DEVICE TO REMAIN AND SHOWN FOR REFERENCE ONLY.

**1 THIRD FLOOR ELECTRICAL DEMOLITION PLAN**  
1/4" = 1'-0"

90%  
SUBMITTAL  
04-23-2021



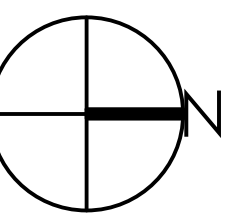
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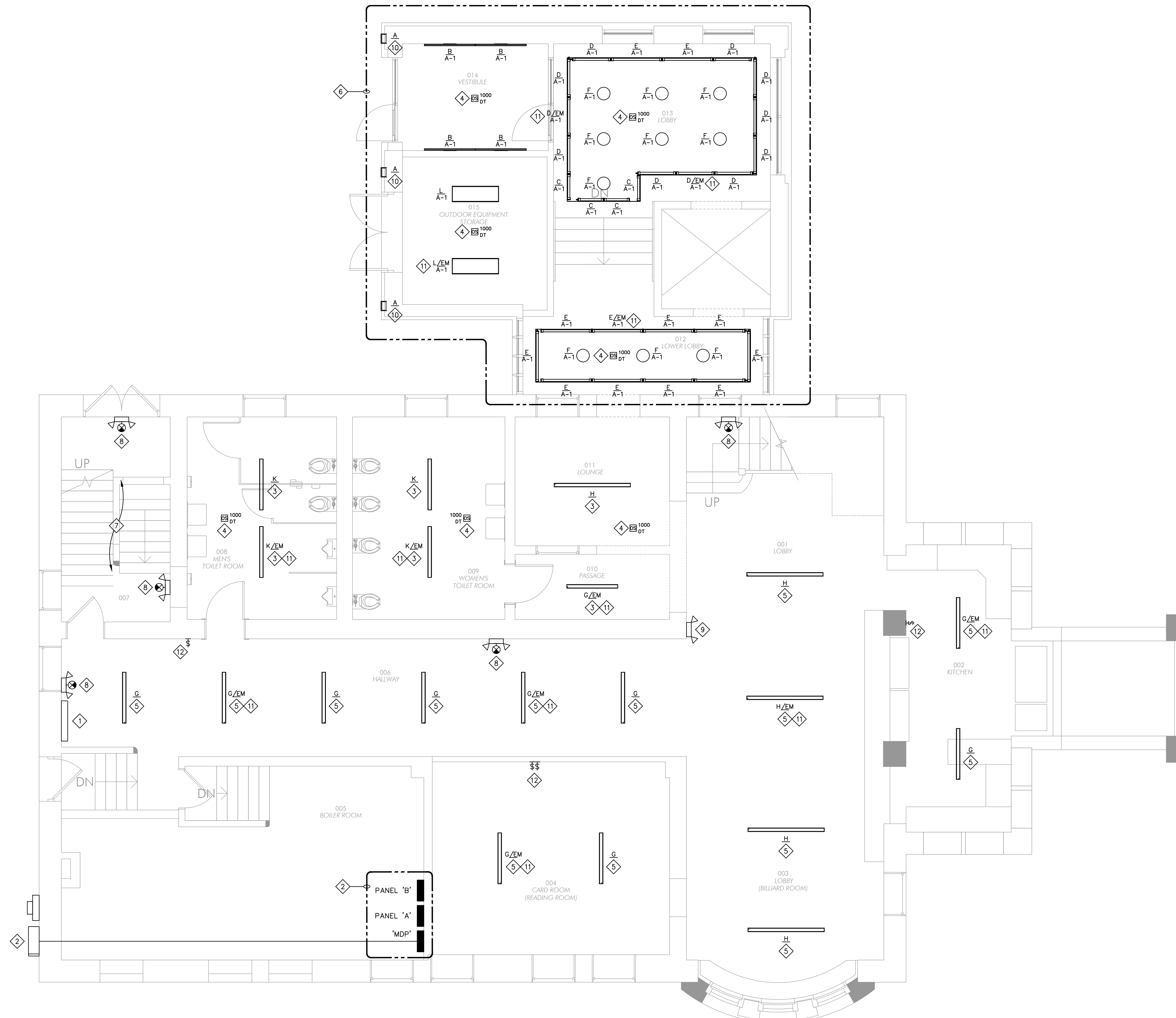
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THIRD FLOOR  
ELECTRICAL  
DEMOLITION PLAN

**E031**



**1 LOWER LEVEL LIGHTING PLAN**  
1/4" = 1'-0"

- LIGHTING PLAN GENERAL NOTES**
- MOUNTING TYPES INDICATED FOR EXIT LIGHTS (WALL, CEILING, ETC.) ARE INTENDED TO BE DIAGRAMMATIC ONLY TO INDICATE REQUIRED LOCATIONS. ELECTRICAL CONTRACTOR SHALL PROVIDE SPECIFIC TYPES OF MOUNTING HARDWARE AS REQUIRED BY FIELD CONDITIONS.
  - IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO DETERMINE THE TYPE OF CONSTRUCTION INTO WHICH EACH LIGHTING FIXTURE WILL BE INSTALLED AND TO FURNISH THE APPROPRIATE MOUNTING HARDWARE AND ACCESSORIES. SUCH APPURTENANCES ARE FURNISHED AND INSTALLED FOR ALL LIGHTING FIXTURES WHETHER SUPPLIED BY OWNER OR BY CONTRACTOR.
  - EXPOSED RACEWAYS SUPPLYING LIGHTING FIXTURES (AND ALL OTHER ITEMS) SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO BUILDING WALLS. WHERE OFFSETS, "KICKS", ETC. ARE REQUIRED TO AVOID OBSTACLES ARE REQUIRED, THESE SHALL BE DONE IN A WORKMANLIKE MANNER WITHOUT KINKS, "DOGLEGS", ETC.
  - INSTALLATION OF LIGHTING FIXTURES SHALL BE CAREFULLY COORDINATED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS TO AVOID CONFLICTS WITH DUCTWORK, ARCHITECTURAL FEATURES, ETC., WHERE CONFLICTS ARISE, CLARIFY WITH ARCHITECT PRIOR TO PROCEEDING WITH INSTALLATION.
  - THIS CONTRACTOR SHALL MEET IN THE FIELD WITH FIRE INSPECTOR TO AIM AND ADJUST EMERGENCY LIGHTS AS HE DEEMS NECESSARY. CONTRACTOR SHALL ADD ADDITIONAL BATTERY LIGHTS AND EXIT SIGNS WHERE THE FIRE INSPECTOR SO DESIRES.
  - RECESSED AND HIDDEN CONDUIT WILL BE AT ALL TENANT CONSTRUCTED DROPPED CEILINGS/SOFFITS, FITTING ROOM AREAS AND BACK DOOR/OFFICE AREA.
  - RUN ALL EXPOSED CONDUIT IN A NEAT, WORKMANLIKE MANNER PARALLEL TO THE BUILDING LINES, DUCT WORK, TIGHT TO THE WALL AND CEILING SURFACES, AND FIRMLY SUPPORT WITH CONDUIT CLAMPS OR HANGERS. PROVIDE TWO (2) HOLE MOUNTING STRAPS, MINIMUM THREE (3) FEET ON CENTER, FOR ALL SURFACE CONDUIT MOUNTED ON WALLS LESS THAN SIX (6) FEET ABOVE FINISHED FLOOR. PLACE CONDUITS AT LEAST 8" AWAY FROM ALL HOT PIPING AND SURFACES INCLUDING DOMESTIC HOT WATER LINES.
  - REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS.
  - REFER TO E000, ELECTRICAL SYMBOL LEGEND FOR BRANCH CIRCUITING AND FIXTURE LABELING CHARACTERISTICS.
  - ALL 120 VOLT BRANCH CIRCUITS IN EXCESS OF 75' SHALL HAVE CONDUCTOR SIZE INCREASE A MINIMUM OF 1 CONDUCTOR SIZE. INSTALLING CONTRACTOR SHALL DETERMINE ACTUAL CONDUCTOR SIZE TO BE INSTALLED TO ADHERE TO VOLTAGE DROP REQUIREMENTS.

- KEY NOTES**
- 1 LOCATION OF EXISTING ELECTRICAL PANELS AND RELATED EQUIPMENT BEING DEMOLISHED. INTERCEPT EXISTING ACTIVE BRANCH CIRCUITS AND EXTEND THEM TO NEW ELECTRICAL PANELS 'A' AND 'B' IN BOILER ROOM. MATCH EXISTING CONDUIT AND WIRE SIZES.
  - 2 LOCATION OF NEW ELECTRICAL EQUIPMENT.
  - 3 PROVIDE NEW LIGHTING AS INDICATED. INTERCEPT EXISTING CONDUIT AND LIGHTING CIRCUITRY SERVING EXISTING LIGHTING IN THIS AREA AND EXTEND TO NEW LIGHT FIXTURES. LIGHT FIXTURES TO BE CONTROLLED BY NEW CEILING MOUNTED OCCUPANCY SENSOR. REFER TO LIGHT FIXTURE SCHEDULE THIS SHEET FOR LIGHT FIXTURE INFORMATION.
  - 4 PROVIDE CEILING MOUNTED 360° DUAL TECHNOLOGY OCCUPANCY SENSOR, WATTSTOPPER: DT-305. PROVIDE BZ-200 POWER PACK(S), AND ADDITIONAL WIRING AS REQUIRED. COORDINATE WITH MANUFACTURER. SET OCCUPANCY SENSOR TIMER TO 15 MINUTES.
  - 5 PROVIDE NEW LIGHTING AS INDICATED. INTERCEPT EXISTING CONDUIT, CIRCUITRY, AND CONTROL SERVING EXISTING LIGHTING IN THIS AREA AND EXTEND TO NEW LIGHT FIXTURES. REFER TO LIGHT FIXTURE SCHEDULE THIS SHEET FOR LIGHT FIXTURE INFORMATION.
  - 6 PROVIDE NEW LIGHTING IN NEW ADDITION AS INDICATED. CIRCUIT TO NEW ELECTRICAL PANEL 'A' AS INDICATED. LIGHT FIXTURES TO BE CONTROLLED BY OCCUPANCY SENSOR. REFER TO LIGHT FIXTURE SCHEDULE THIS SHEET FOR LIGHT FIXTURE INFORMATION.
  - 7 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
  - 8 EXISTING EXIT/EMERGENCY LIGHT FIXTURE TO REMAIN. EXISTING BRANCH CIRCUIT FEEDER WIRES TO REMAIN. ENSURE ALL FIXTURES NOTED ARE IN PROPER WORKING ORDER.
  - 9 EXISTING EMERGENCY LIGHT FIXTURE TO REMAIN. EXISTING BRANCH CIRCUIT FEEDER WIRES TO REMAIN. ENSURE ALL FIXTURES NOTED ARE IN PROPER WORKING ORDER.
  - 10 PROVIDE NEW EXTERIOR BUILDING MOUNTED WALL PACK LIGHT FIXTURE AS INDICATED. EXTEND EXISTING EXTERIOR BUILDING LIGHTING CIRCUIT AND CONTROL TO NEW LIGHT FIXTURES. COORDINATE EXACT REQUIREMENTS IN FIELD. REFER TO LIGHT FIXTURE SCHEDULE THIS SHEET FOR LIGHT FIXTURE INFORMATION.
  - 11 EMERGENCY LIGHTS ARE TO BE WIRED AHEAD OF LIGHTING CONTROL.
  - 12 EXISTING LIGHTING CONTROL SWITCH TO REMAIN AND BE REUSED FOR CONTROL OF NEW LIGHTING.

**90% SUBMITTAL**  
04-23-2021



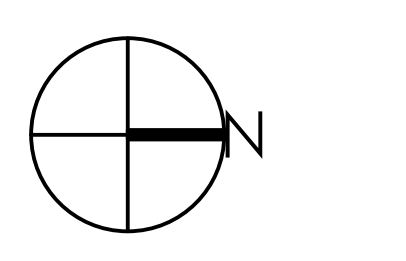
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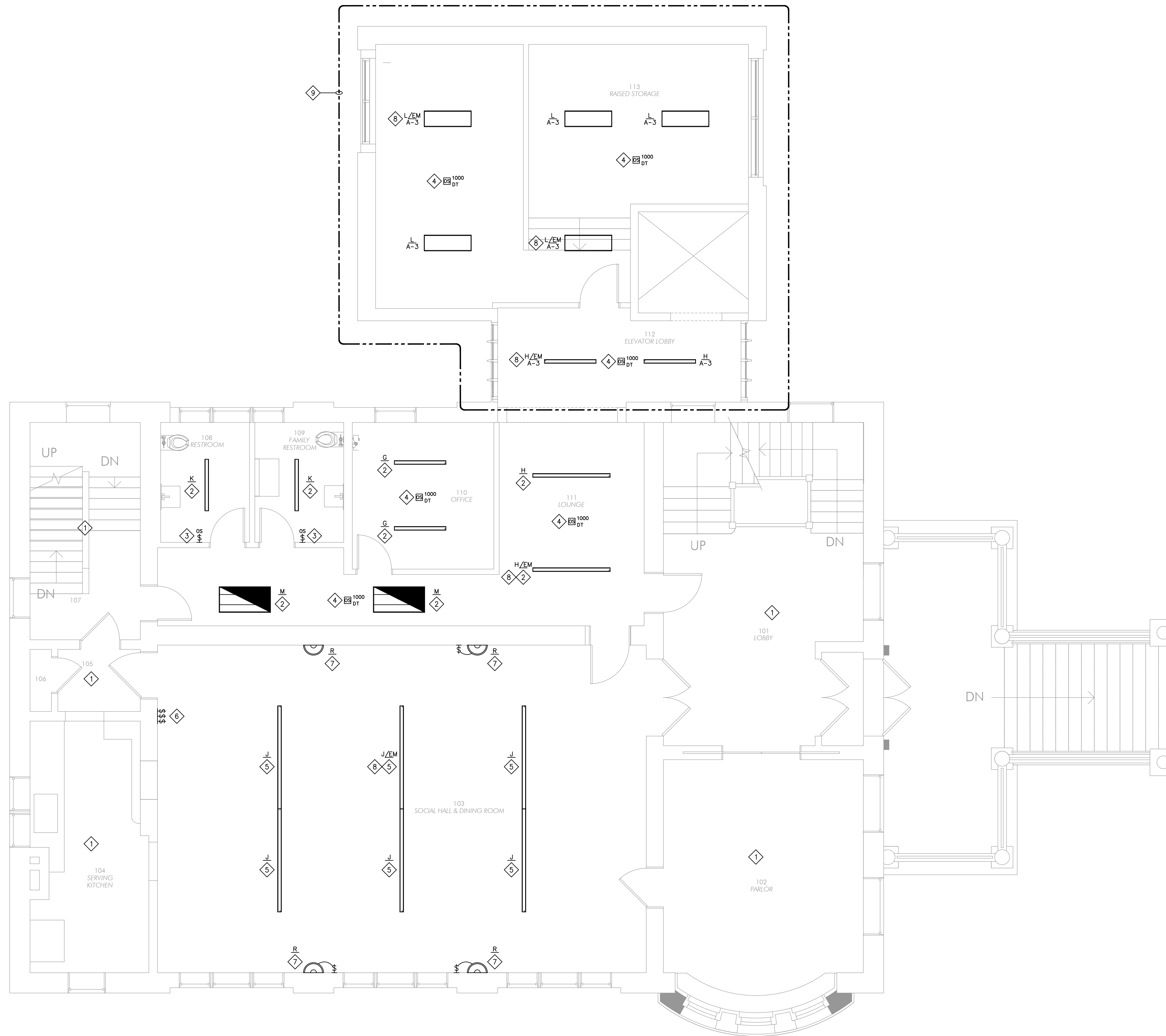


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LOWER LEVEL LIGHTING PLAN

**E101**

TYPE MARK	FIXTURE TYPE	MANUFACTURER	DESCRIPTION	ELECTRICAL DATA	APPARENT LOAD	WATTAGE	SOURCE	INITIAL COLOR TEMPERATURE	LUMINOUS FLUX
A	01 - WDG1 LED Wall Mount	Acuity Brands Lighting	WDG1 LED P1 27K 80CRI VF	120V/1-0VA	0VA	0W	LED	3200 K	0lm
B	02 - SLOT 1 Direc Wall - 4ft	Acuity Brands Lighting	S1LWD 2FT 600LMF 35K STD	120V/1-0VA	0VA	14W	LED	3200 K	2095lm
C	03 - Markcove Linear Tunable White and Warm Dimming - 2ft	Acuity Brands Lighting	MCV504 2FT 120x120DEG 1000LMF 80CRI 27K	120V/1-0VA	0VA	0W	LED	3200 K	0lm
D	03 - Markcove Linear Tunable White and Warm Dimming - 3ft	Acuity Brands Lighting	MCV504 3FT 120x120DEG 1000LMF 80CRI 27K	120V/1-0VA	0VA	0W	LED	3200 K	0lm
E	03 - Markcove Linear Tunable White and Warm Dimming - 4ft	Acuity Brands Lighting	MCV504 4FT 120x120DEG 1000LMF 80CRI 27K	120V/1-0VA	0VA	0W	LED	3200 K	0lm
F	04 - Recessed Can Downlight			120V/1-15VA	15VA	15W	LED	2700 K	975lm
G	05 - Slot 4 LED Direct Pendant Tunable White - 4'	Acuity Brands Lighting	S4LD 4FT 80CRI 27K 1000LMF	120V/1-0VA	0VA	0W	LED	3200 K	2095lm
H	05 - Slot 4 LED Direct Pendant Tunable White - 6'	Acuity Brands Lighting	S4LD 6FT 80CRI 27K 1000LMF	120V/1-0VA	0VA	0W	LED	3200 K	2095lm
J	05 - Slot 4 LED Direct Pendant Tunable White - 8'	Acuity Brands Lighting	S4LD 8FT 80CRI 27K 1000LMF	120V/1-0VA	0VA	0W	LED	3200 K	2095lm
K	07 - Slot 4 LED Design 2Ship™ Surface Mount Tunable White	Acuity Brands Lighting	S4LS U4 80CRI 27K 600LMF TUWH RHYP	120V/1-0VA	0VA	14W	LED	3200 K	2095lm
L	08 - I-BEAM™ IBE High Bay	Acuity Brands Lighting	IBE L48 18000LM ATC MID XXXX 40K 80CRI	120V/1-277VA	277VA	83W	LED	3200 K	12359lm
M	09 - VTLVT Series LED Troffer	Acuity Brands Lighting		120V/1-0VA	0VA	0W	LED	3200 K	3012lm
N	10 - Reproduction Glass & Brass Pendant					12W		3200K	1800lm
Q	11 - Slot 4 LED Direct/Indirect Pendant - 8'			120V/1-0VA	0VA	0W	LED	3200 K	2095lm
P	12 - Existing Exterior Porch Ceiling Fixture	Acuity Brands Lighting	S4LUD 8FT 80CRI 27K 1000LMF I1000LMF	120V/1-15VA	15VA	15W	LED	2700 K	975lm
Q	13 - Existing Exterior Porch Posts Fixtures			120V/1-15VA	15VA	15W	LED	2700 K	975lm
R	14 - Existing Historic Wall Sconce			120V/1-60VA	60VA	60W	A-19	2800 K	855lm



- KEY NOTES**
- 1 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
  - 2 PROVIDE NEW LIGHTING AS INDICATED. INTERCEPT EXISTING CONDUIT AND LIGHTING CIRCUITRY SERVING EXISTING LIGHTING IN THIS AREA AND EXTEND TO NEW LIGHT FIXTURES. LIGHT FIXTURES TO BE CONTROLLED BY NEW OCCUPANCY SENSOR. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E101 FOR LIGHT FIXTURE INFORMATION.
  - 3 PROVIDE WALL MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR. WATTSTOPPER: DW-100-24. PROVIDE BZ-50 POWER PACKS, AND ADDITIONAL WIRING AS REQUIRED. COORDINATE WITH MANUFACTURER. SET OCCUPANCY SENSOR TIMER TO 15 MINUTES.
  - 4 PROVIDE CEILING MOUNTED 360° DUAL TECHNOLOGY OCCUPANCY SENSOR. WATTSTOPPER: DT-305. PROVIDE BZ-200 POWER PACK(S), AND ADDITIONAL WIRING AS REQUIRED. COORDINATE WITH MANUFACTURER. SET OCCUPANCY SENSOR TIMER TO 15 MINUTES.
  - 5 PROVIDE NEW LIGHTING AS INDICATED. INTERCEPT EXISTING CONDUIT, CIRCUITRY, AND CONTROL SERVING EXISTING LIGHTING IN THIS AREA AND EXTEND TO NEW LIGHT FIXTURES. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E101 FOR LIGHT FIXTURE INFORMATION.
  - 6 EXISTING LIGHTING CONTROL SWITCHES TO REMAIN AND BE REUSED FOR CONTROL OF NEW LIGHTING.
  - 7 EXISTING LIGHT FIXTURE TO BE RELAMPED. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E101 FOR FURTHER INFORMATION.
  - 8 EMERGENCY LIGHTS ARE TO BE WIRED AHEAD OF LIGHTING CONTROL.
  - 9 PROVIDE NEW LIGHTING IN NEW ADDITION AS INDICATED. CIRCUIT TO NEW ELECTRICAL PANEL 'A' AS INDICATED. LIGHT FIXTURES TO BE CONTROLLED BY OCCUPANCY SENSOR. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E101 FOR LIGHT FIXTURE INFORMATION.

**1 FIRST FLOOR LIGHTING PLAN**  
1/4" = 1'-0"

90%  
SUBMITTAL  
04-23-2021



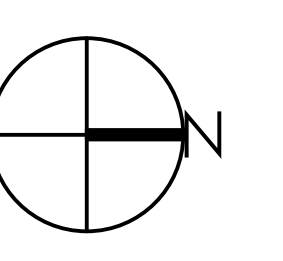
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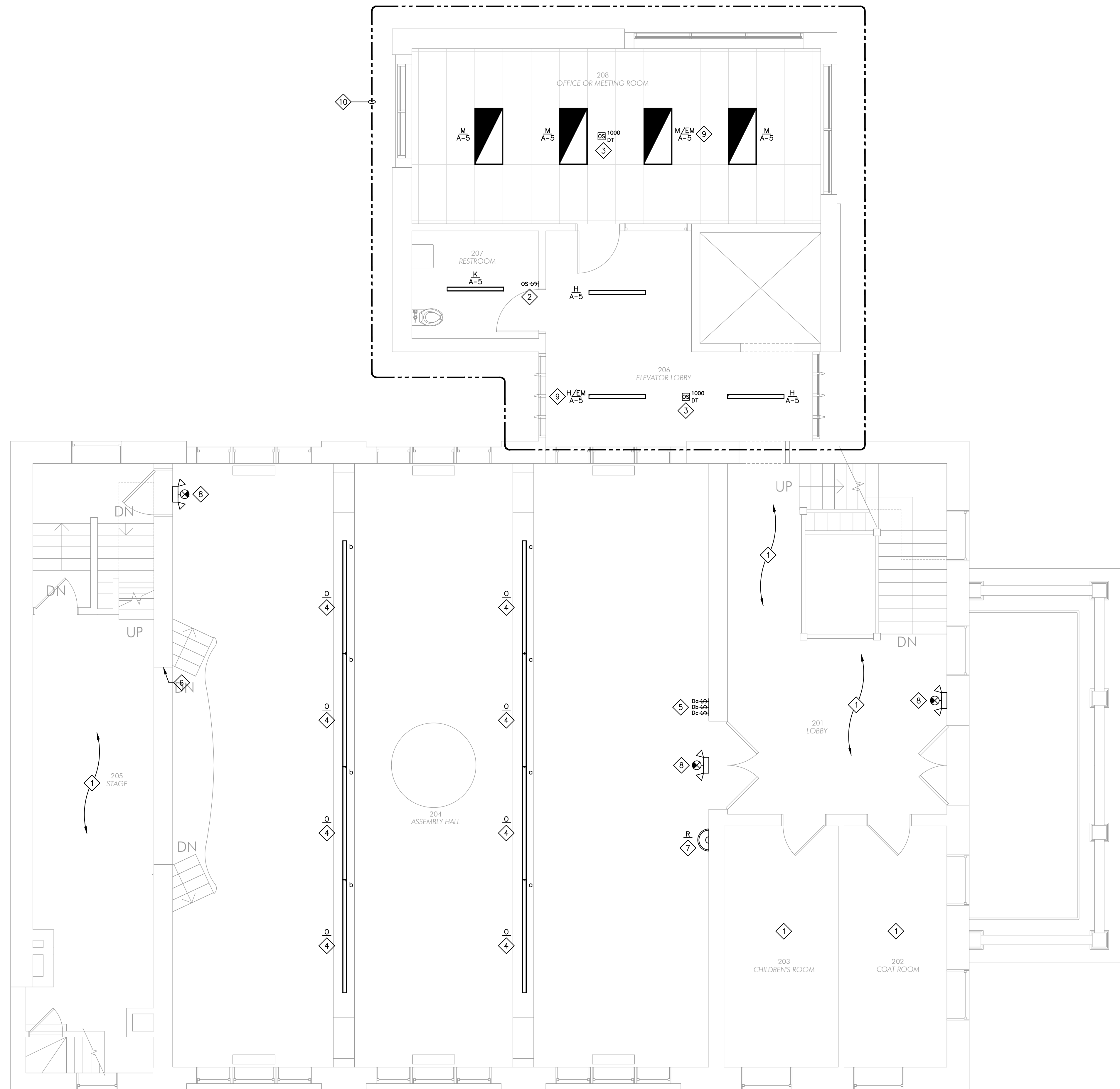
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1824 Marshall Avenue, Saint Paul, MN 55104  
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CHECKED BY: PJF  
DATE: 04/23/2021  
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FIRST FLOOR  
LIGHTING PLAN

E111



**KEY NOTES**

- 1 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
- 2 PROVIDE WALL MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR. WATTSTOPPER: DW-100-24. OCCUPANCY SENSOR SHALL CONTROL EXHAUST FAN EF-3 AND LIGHT. PROVIDE BZ-50 POWER PACKS, AND ADDITIONAL WIRING AS REQUIRED. COORDINATE WITH MANUFACTURER. SET OCCUPANCY SENSOR TIMER TO 15 MINUTES.
- 3 PROVIDE CEILING MOUNTED 360° DUAL TECHNOLOGY OCCUPANCY SENSOR. WATTSTOPPER: DT-305. PROVIDE BZ-200 POWER PACK(S), AND ADDITIONAL WIRING AS REQUIRED. COORDINATE WITH MANUFACTURER. SET OCCUPANCY SENSOR TIMER TO 15 MINUTES.
- 4 PROVIDE NEW LIGHTING AS INDICATED. INTERCEPT EXISTING CONDUIT AND LIGHTING CIRCUITRY SERVING EXISTING LIGHTING IN THIS AREA AND EXTEND TO NEW LIGHT FIXTURES. LIGHT FIXTURES TO BE CONTROLLED BY NEW DIMMING WALL SWITCHES. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E101 FOR LIGHT FIXTURE INFORMATION.
- 5 PROVIDE NEW DIMMING SWITCHES COMPATIBLE WITH NEW LIGHT FIXTURES BEING INSTALLED. LOWER CASE LETTER INDICATES LIGHTING FIXTURE TO BE CONTROLLED. REFER TO SHEET E131 FOR LIGHTING TO BE CONTROLLED BY SWITCH "C".
- 6 LOCATION OF EXISTING LIGHTING CONTROL SWITCHES. COORDINATE IN FIELD IF ANY OF THESE SWITCHES WILL NEED TO REMAIN FOR CONTROL OF EXISTING LIGHTING THAT IS TO REMAIN.
- 7 EXISTING LIGHT FIXTURE TO BE RELAMPED. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E101 FOR FURTHER INFORMATION.
- 8 EXISTING EXIT/EMERGENCY LIGHT FIXTURE TO REMAIN. EXISTING BRANCH CIRCUIT FEEDER WIRES TO REMAIN. ENSURE ALL FIXTURES NOTED ARE IN PROPER WORKING ORDER.
- 9 EMERGENCY LIGHTS ARE TO BE WIRED AHEAD OF LIGHTING CONTROL.
- 10 PROVIDE NEW LIGHTING IN NEW ADDITION AS INDICATED. CIRCUIT TO NEW ELECTRICAL PANEL "A" AS INDICATED. LIGHT FIXTURES TO BE CONTROLLED BY OCCUPANCY SENSOR. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E101 FOR LIGHT FIXTURE INFORMATION.

**1 SECOND FLOOR LIGHTING PLAN**  
1/4" = 1'-0"

90%  
SUBMITTAL  
04-23-2021



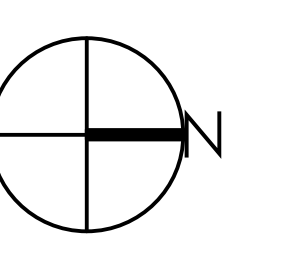
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PRINTED NAME: Paul J. Fettingler

SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_

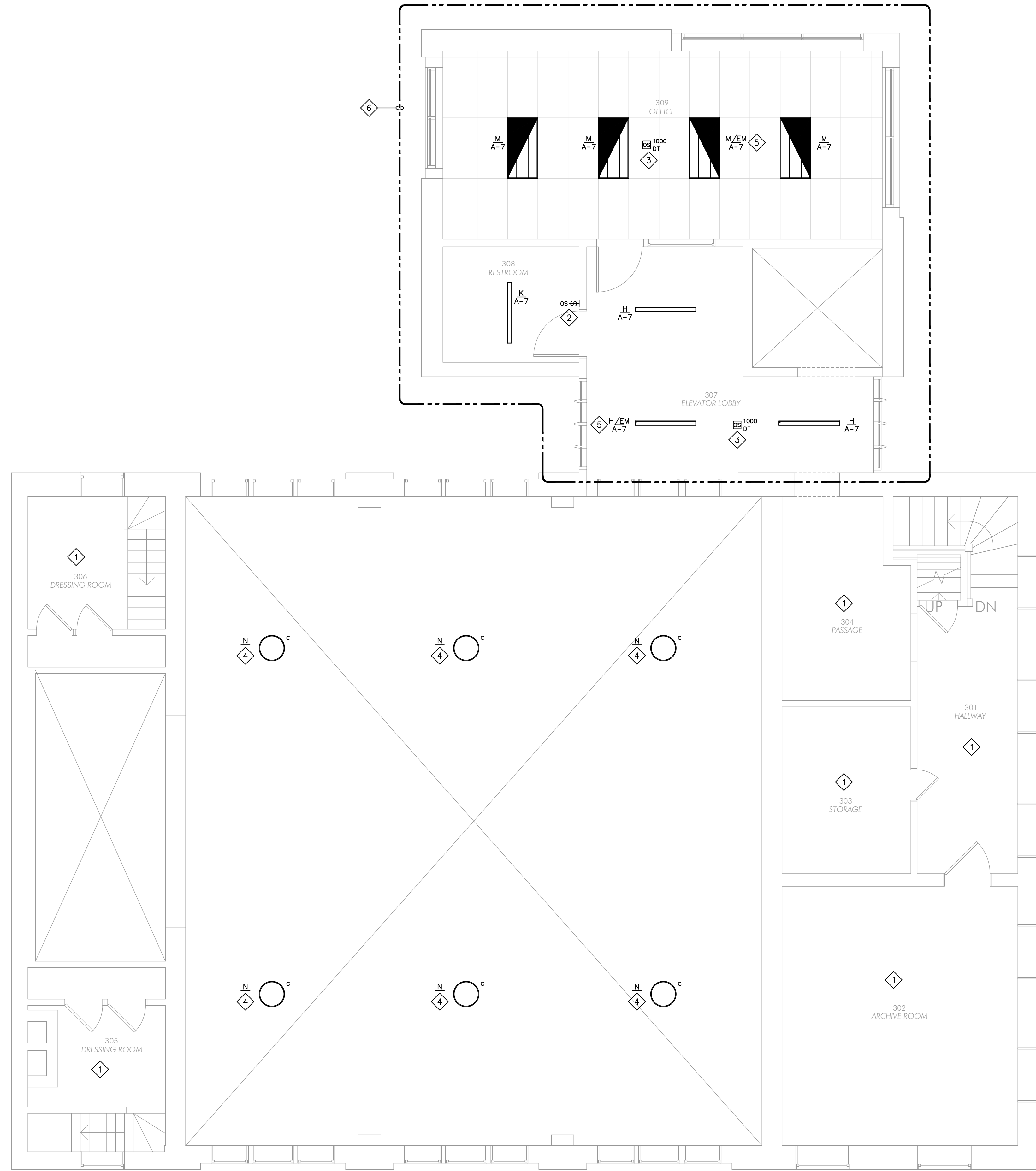
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No.	Description	Date



CHARLES THOMPSON MEMORIAL HALL  
Rehabilitation, HVAC Upgrade, and Addition  
1824 Marshall Avenue, Saint Paul, MN 55104  
DRAWN BY DJQ CHECKED BY PJF  
DATE 04/23/2021 REVISIONS

SECOND FLOOR  
LIGHTING PLAN

E121



- KEY NOTES**
- 1 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
  - 2 PROVIDE WALL MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR. WATTSTOPPER: DW-100-24. PROVIDE BZ-50 POWER PACKS, AND ADDITIONAL WIRING AS REQUIRED. COORDINATE WITH MANUFACTURER. SET OCCUPANCY SENSOR TIMER TO 15 MINUTES.
  - 3 PROVIDE CEILING MOUNTED 360° DUAL TECHNOLOGY OCCUPANCY SENSOR. WATTSTOPPER: DT-305. PROVIDE BZ-200 POWER PACK(S), AND ADDITIONAL WIRING AS REQUIRED. COORDINATE WITH MANUFACTURER. SET OCCUPANCY SENSOR TIMER TO 15 MINUTES.
  - 4 PROVIDE NEW LIGHTING AS INDICATED. INTERCEPT EXISTING CONDUIT AND LIGHTING CIRCUITRY SERVING EXISTING LIGHTING IN THIS AREA AND EXTEND TO NEW LIGHT FIXTURES. LIGHT FIXTURES TO BE CONTROLLED BY NEW DIMMING WALL SWITCH 'c'. REFER TO SHEET E121 FOR SWITCHING LOCATION. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E101 FOR LIGHT FIXTURE INFORMATION.
  - 5 EMERGENCY LIGHTS ARE TO BE WIRED AHEAD OF LIGHTING CONTROL.
  - 6 PROVIDE NEW LIGHTING IN NEW ADDITION AS INDICATED. CIRCUIT TO NEW ELECTRICAL PANEL 'A' AS INDICATED. LIGHT FIXTURES TO BE CONTROLLED BY OCCUPANCY SENSOR. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E101 FOR LIGHT FIXTURE INFORMATION.

**1** THIRD FLOOR LIGHTING PLAN  
1/4" = 1'-0"

90%  
SUBMITTAL  
04-23-2021



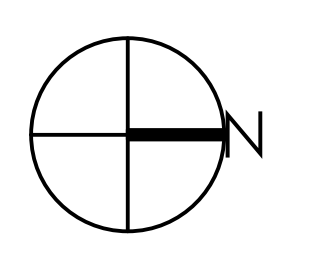
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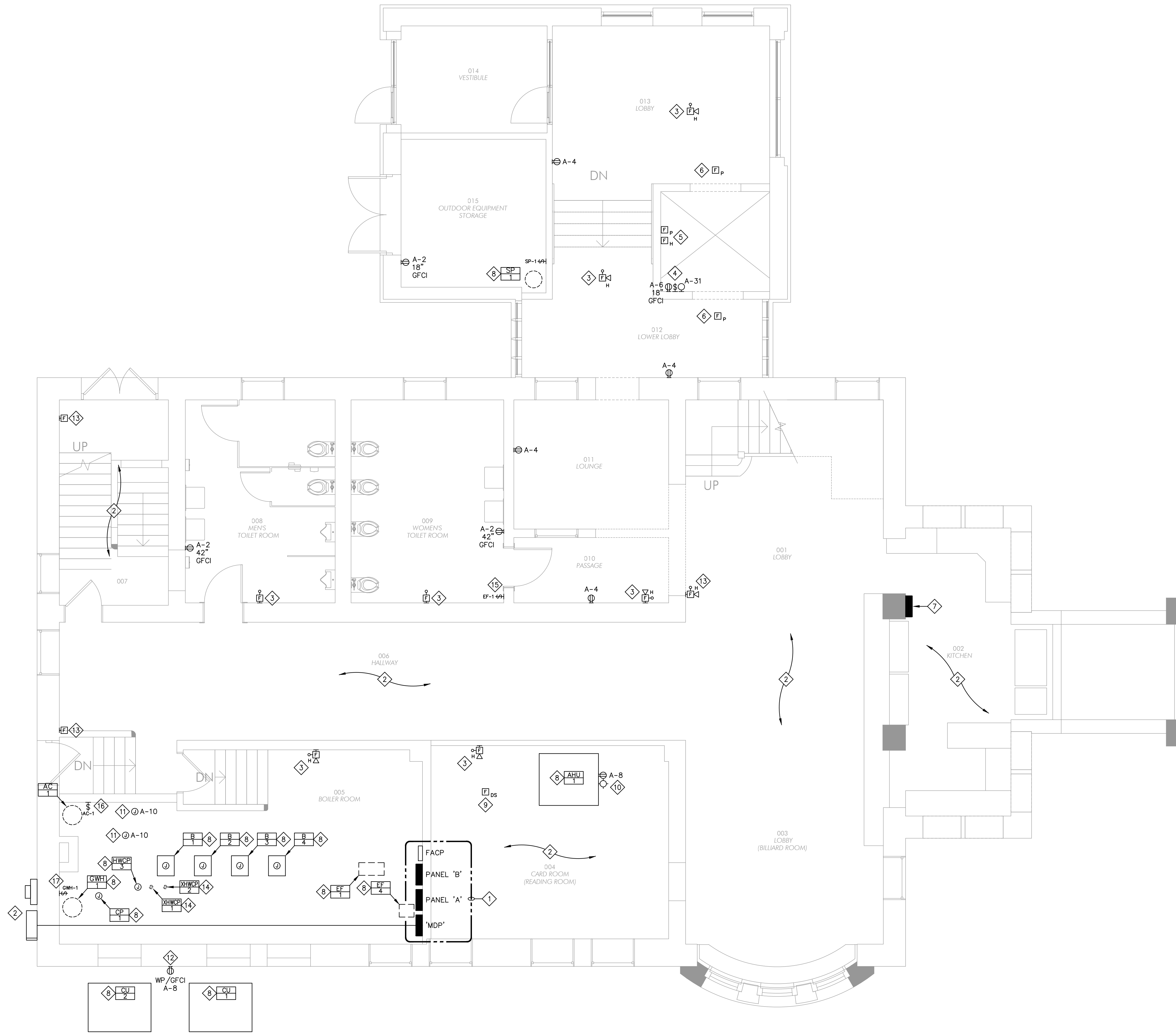
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THIRD FLOOR  
LIGHTING PLAN

E131



**1 LOWER LEVEL POWER PLAN**  
1/4" = 1'-0"

**POWER AND LOW VOLTAGE PLAN GENERAL NOTES**

- A. ALL JUNCTION BOXES AND DISCONNECT SWITCHES LOCATED ABOVE INACCESSIBLE CEILINGS SHALL BE MADE ACCESSIBLE THROUGH THE INSTALLATION OF ACCESS PANELS. COORDINATE EXACT REQUIREMENTS WITH G.C. ON SITE. E.C. SHALL ROUTE CONDUIT IN ORDER TO MINIMIZE THE NEED FOR EXTRANEIOUS JUNCTION BOXES.
- B. CONTRACTOR SHALL SCHEDULE ANY POWER SHUTDOWNS AT LEAST ONE MONTH PRIOR.
- C. PENETRATIONS OF FIRE RATED WALLS SHALL BE SEALED TO PRESERVE THE INTEGRITY OF THE FIRE RATING FOR WHICH THE WALL IS DESIGNED. MATERIALS AND METHODS USED FOR FIRESTOPPING SHALL COMPLY WITH APPLICABLE BUILDING AND FIRE CODES.
- D. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND QUANTITIES FOR ELECTRICAL DEVICES. CONTRACTOR SHALL COORDINATE OUTLET LOCATIONS AND MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY INSTALLATIONS.
- E. ELECTRICAL WORK IN PUBLIC AREAS SHALL BE CONCEALED. NO EXPOSED CONDUIT OR JUNCTION BOXES. COORDINATE WITH ARCHITECTURAL DETAILS FOR ROUTING OF CONDUITS AND BOX LOCATIONS.
- F. AC, BX, AND ROMEX TYPE WIRING IS NOT ALLOWED. MC CABLE ALLOWED IN CONCEALED AREAS.
- G. RECESSED AND HIDDEN CONDUIT WILL BE AT ALL CONSTRUCTED DROPPED CEILING/SOFFITS AND BACK DOOR/OFFICE AREA.
- H. RUN ALL EXPOSED CONDUIT IN A NEAT, WORKMANLIKE MANNER PARALLEL TO THE BUILDING LINES, DUCT WORK, TIGHT TO THE WALL AND CEILING SURFACES, AND FIRMLY SUPPORT WITH CONDUIT CLAMPS OR HANGERS. PROVIDE TWO (2) HOLE MOUNTING STRAPS, MINIMUM THREE (3) FEET ON CENTER, FOR ALL SURFACE CONDUIT MOUNTED ON WALLS LESS THAN SIX (6) FEET ABOVE FINISHED FLOOR. PLACE CONDUITS AT LEAST 8" AWAY FROM ALL HOT PIPING AND SURFACES INCLUDING DOMESTIC HOT WATER LINES.
- I. REFER TO SHEET E000, ELECTRICAL SYMBOL LEGEND FOR BRANCH CIRCUITING AND FIXTURE LABELING CHARACTERISTICS.
- J. ALL 120 VOLT BRANCH CIRCUITS IN EXCESS OF 75' SHALL HAVE CONDUCTOR SIZE INCREASED A MINIMUM OF 1 CONDUCTOR SIZE. INSTALLING CONTRACTOR SHALL DETERMINE ACTUAL CONDUCTOR SIZE TO BE INSTALLED TO ADHERE TO VOLTAGE DROP REQUIREMENT.
- K. VERIFY WITH THE AHJ IF A LOW VOLTAGE PERMIT IS REQUIRED.
- L. COORDINATE CEILING MOUNTED DEVICES WITH LIGHTING AND OTHER CEILING MOUNTED DEVICES.
- M. CONTRACTOR SHALL SCHEDULE ANY FIRE ALARM SHUTDOWNS AT LEAST ONE MONTH PRIOR.
- N. OPENINGS AROUND ALL PENETRATIONS THROUGH CEILINGS, FLOOR SLABS AND FIRE RATED WALLS, SHALL BE SEALED WITH APPROVED FIRE STOPPING MATERIAL.
- O. FIRE ALARM DEVICES TO BE COMPATIBLE AND ADDRESSABLE WITH BASE BUILDING FIRE ALARM PANEL.
- P. FIRE ALARM SYSTEM DESIGN AND EQUIPMENT ARE BY THE FIRE ALARM CONTRACTOR.
- Q. INSTALL CONDUIT WITH NO MORE THAN (2) 90° BENDS BETWEEN PULL BOXES, AND NO MORE THAN 100'-0" BETWEEN PULL BOXES. PULL BOXES SHALL BE INSTALLED FOR STRAIGHT THRU PULLS ONLY.
- R. OTHER THAN FLAT UNDER CARPET CABLES, ALL COMMUNICATIONS CABLES SHALL BE INSTALLED IN CONDUIT, CABLE TRAY, OR SUPPORTED BY CABLE HOOKS. PROVIDE BUSHINGS AT THE ENDS OF ALL CONDUIT WHERE STUBBED ABOVE ACCESSIBLE CEILINGS OR WHERE DROPPED INTO CABLE TRAY. PROVIDE CABLE HOOKS ABOVE ACCESSIBLE CEILINGS FOR CABLE INSTALLATION WHERE NOT INSTALLED IN CONDUIT OR CABLE TRAY.
- S. FIELD COORDINATE WHERE EACH L.V. CABLE IS TO TERMINATE.

**KEY NOTES**

- 1 LOCATION OF NEW ELECTRICAL SERVICE EQUIPMENT PANELS AND RELOCATED FIRE ALARM CONTROL PANEL.
- 2 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
- 3 PROVIDE NEW FIRE ALARM DEVICES AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. TIE INTO EXISTING, RELOCATED FIRE ALARM PANEL. DEVICE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE INSTALLED PER CODE AND ARE THE RESPONSIBILITY OF THE CONTRACTOR INSTALLING IT. ALL APPROVED FIRE ALARM CABLING SHALL BE INSTALLED IN CONDUIT IF REQUIRED BY LOCAL CODE.
- 4 PROVIDE RECEPTACLE, VAPOR TIGHT LED LIGHT FIXTURE, AND TOGGLE SWITCH FOR ON/OFF CONTROL OF LIGHT FIXTURE. SWITCH TO CONTROL LIGHT ONLY. MOUNT IN ELEVATOR PIT. COORDINATE EXACT LOCATION WITH ELEVATOR SUPPLIER AND AUTHORITY HAVING JURISDICTION.
- 5 PROVIDE SMOKE DETECTOR AND HEAT DETECTOR IN ELEVATOR PIT AND CONNECT TO ELEVATOR CONTROLLER PANEL AND FIRE ALARM SYSTEM. SMOKE DETECTOR IN ELEVATOR PIT SHALL CONNECT TO ELEVATOR CONTROLLER PANEL AND INTERLOCK WITH ELEVATOR SHUNT STRIP BREAKER PER ELEVATOR SPECIFICATION.
- 6 PROVIDE SMOKE DETECTOR AT ELEVATOR LANDING. CONNECT TO ELEVATOR RECALL AND TIE INTO EXISTING FIRE ALARM PANEL. COORDINATE EXACT REQUIREMENTS WITH ELEVATOR VENDOR.
- 7 EXISTING ELECTRICAL PANEL TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- 8 NEW MECHANICAL EQUIPMENT. REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E800 FOR FURTHER INFORMATION.
- 9 E.C. TO FURNISH DUCT SMOKE DETECTOR. DETECTOR INSTALLED BY MECHANICAL CONTRACTOR. DETECTOR TO BE COMPLETE WITH AUXILIARY CONTACTS, BASE SAMPLING TUBES AND REMOTE STATUS INDICATOR/RESET SWITCH. SIMPLEX OR EQUAL. DUCT SMOKE DETECTORS TO BE ROUTED THROUGH FIRE ALARM CONTROL PANEL. ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS. COORDINATE LOCATION OF RESET SWITCHES WITH MECHANICAL CONTRACTOR.
- 10 PROVIDE DUPLEX RECEPTACLE, PORCELAIN LAMP HOLDER WITH PULL CHAIN, AND LED LIGHT BULB AT/ADJACENT TO AIR HANDLING UNIT.
- 11 PROVIDE J-BOX AND 120V CIRCUIT AS INDICATED FOR CONNECTION TO MOTORIZED DAMPER PROVIDED BY MECHANICAL CONTRACTOR.
- 12 PROVIDE WEATHER PROOF/GFCI DUPLEX RECEPTACLE WITH IN-USE COVER.
- 13 EXISTING FIRE ALARM DEVICE TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- 14 EXISTING MECHANICAL UNIT TO REMAIN. EXISTING CONDUIT AND BRANCH CIRCUITRY TO BE EXTENDED TO NEW ELECTRICAL PANEL 'A'. REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E800 FOR FURTHER INFORMATION.
- 15 LOCATION OF MANUAL MOTOR SWITCH FOR EXHAUST FAN EF-1. REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E800 FOR FURTHER INFORMATION.
- 16 LOCATION OF MANUAL MOTOR SWITCH FOR AIR COMPRESSOR AC-1. REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E800 FOR FURTHER INFORMATION.
- 17 LOCATION OF MANUAL MOTOR SWITCH FOR GAS WATER HEATER GWH-1. REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E800 FOR FURTHER INFORMATION.

**90% SUBMITTAL**  
04-23-2021



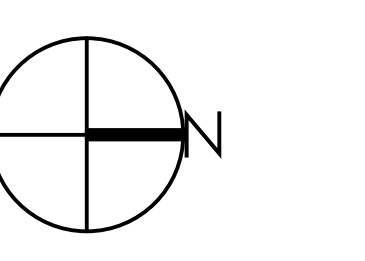
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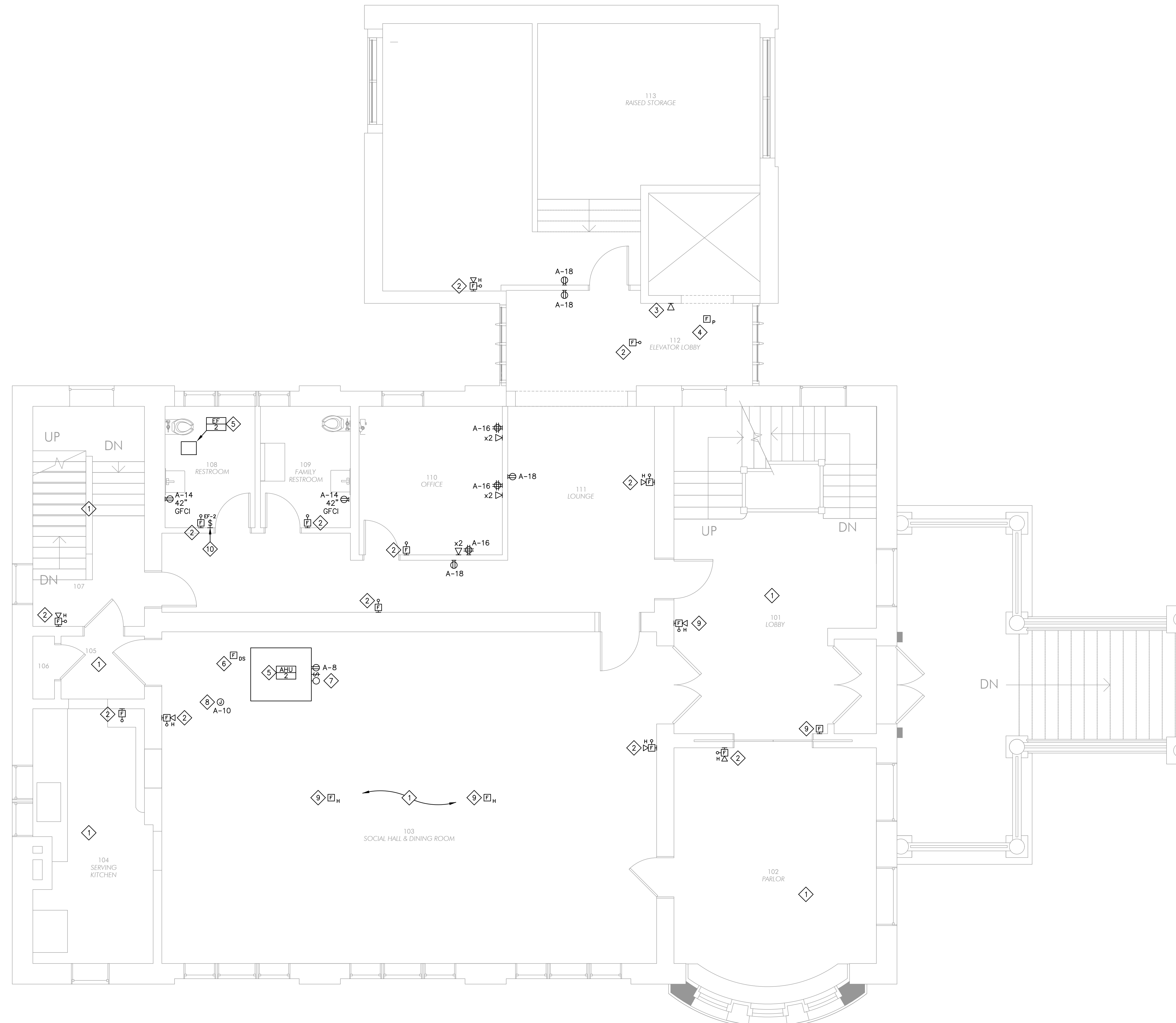
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CHECKED BY: PJF  
DATE: 04/23/2021  
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LOWER LEVEL POWER PLAN

**E201**



- KEY NOTES**
- 1 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
  - 2 PROVIDE NEW FIRE ALARM DEVICES AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. TIE INTO EXISTING, RELOCATED FIRE ALARM PANEL. DEVICE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE INSTALLED PER CODE AND ARE THE RESPONSIBILITY OF THE CONTRACTOR INSTALLING IT. ALL APPROVED FIRE ALARM CABLING SHALL BE INSTALLED IN CONDUIT IF REQUIRED BY LOCAL CODE.
  - 3 PROVIDE 2-WAY COMMUNICATION SYSTEM AT ELEVATOR LANDING. ALL WIRING SHALL COMPLY WITH SECTIONS 1007.8.1 AND 1007.8.2 OF THE NATIONAL ELECTRIC CODE.
  - 4 PROVIDE SMOKE DETECTOR AT ELEVATOR LANDING. CONNECT TO ELEVATOR RECALL AND TIE INTO EXISTING FIRE ALARM PANEL. COORDINATE EXACT REQUIREMENTS WITH ELEVATOR VENDOR.
  - 5 NEW MECHANICAL EQUIPMENT. REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E800.
  - 6 E.C. TO FURNISH DUCT SMOKE DETECTOR. DETECTOR INSTALLED BY MECHANICAL CONTRACTOR. DETECTOR TO BE COMPLETE WITH AUXILIARY CONTACTS, BASE, SAMPLING TUBES AND REMOTE STATUS INDICATOR/RESET SWITCH. SIMPLEX OR EQUAL. DUCT SMOKE DETECTORS TO BE ROUTED THROUGH FIRE ALARM CONTROL PANEL. ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS. COORDINATE LOCATION OF RESET SWITCHES WITH MECHANICAL CONTRACTOR.
  - 7 PROVIDE DUPLEX RECEPTACLE, PORCELAIN LAMP HOLDER WITH PULL CHAIN, AND LED LIGHT BULB AT/ADJACENT TO AIR HANDLING UNIT.
  - 8 PROVIDE J-BOX AND 120V CIRCUIT AS INDICATED FOR CONNECTION TO MOTORIZED DAMPER PROVIDED BY MECHANICAL CONTRACTOR.
  - 9 EXISTING FIRE ALARM DEVICE TO REMAIN AND SHOWN FOR REFERENCE ONLY.
  - 10 LOCATION OF MANUAL MOTOR SWITCH FOR EXHAUST FAN EF-2. REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E800 FOR FURTHER INFORMATION.

**1 FIRST FLOOR POWER PLAN**  
1/4" = 1'-0"

**90%  
SUBMITTAL  
04-23-2021**



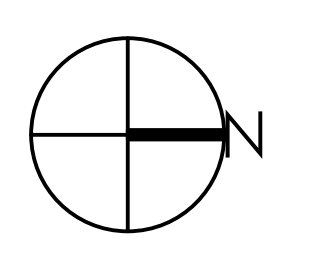
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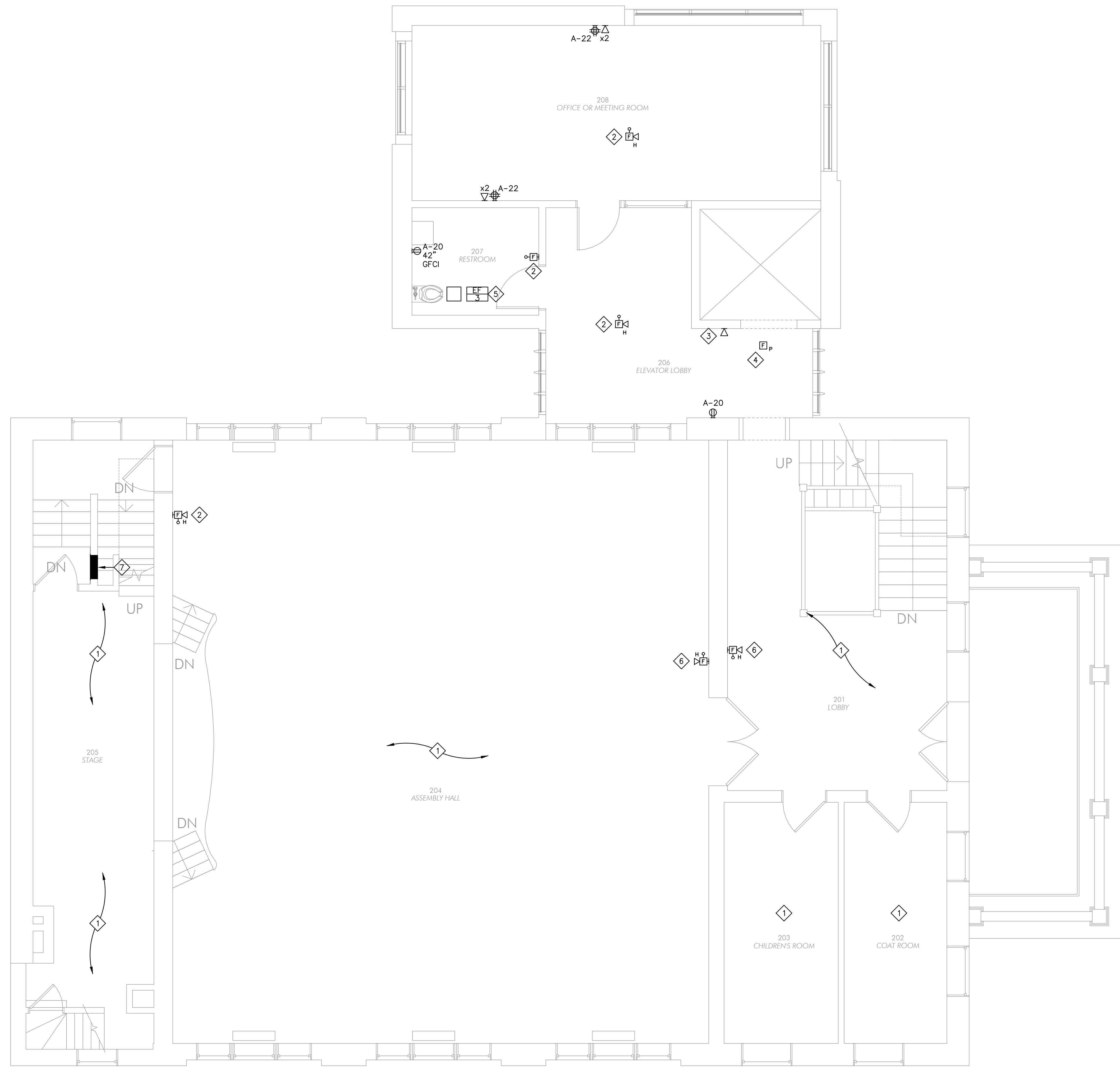
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REVISIONS

FIRST FLOOR  
POWER PLAN

**E211**



**KEY NOTES**

- 1 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
- 2 PROVIDE NEW FIRE ALARM DEVICES AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. TIE INTO EXISTING, RELOCATED FIRE ALARM PANEL. DEVICE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE INSTALLED PER CODE AND ARE THE RESPONSIBILITY OF THE CONTRACTOR INSTALLING IT. ALL APPROVED FIRE ALARM CABLING SHALL BE INSTALLED IN CONDUIT IF REQUIRED BY LOCAL CODE.
- 3 PROVIDE 2-WAY COMMUNICATION SYSTEM AT ELEVATOR LANDING. ALL WIRING SHALL COMPLY WITH SECTIONS 1007.8.1 AND 1007.8.2 OF THE NATIONAL ELECTRIC CODE.
- 4 PROVIDE SMOKE DETECTOR AT ELEVATOR LANDING. CONNECT TO ELEVATOR RECALL AND TIE INTO EXISTING FIRE ALARM PANEL. COORDINATE EXACT REQUIREMENTS WITH ELEVATOR VENDOR.
- 5 NEW MECHANICAL EQUIPMENT. REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E800.
- 6 EXISTING FIRE ALARM DEVICE TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- 7 EXISTING ELECTRICAL PANEL TO REMAIN AND SHOWN FOR REFERENCE ONLY.

**1 SECOND FLOOR POWER PLAN**  
1/4" = 1'-0"

90%  
SUBMITTAL  
04-23-2021



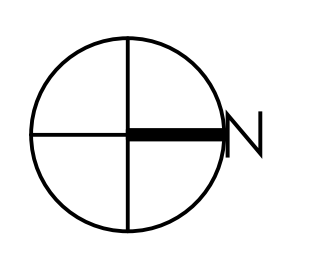
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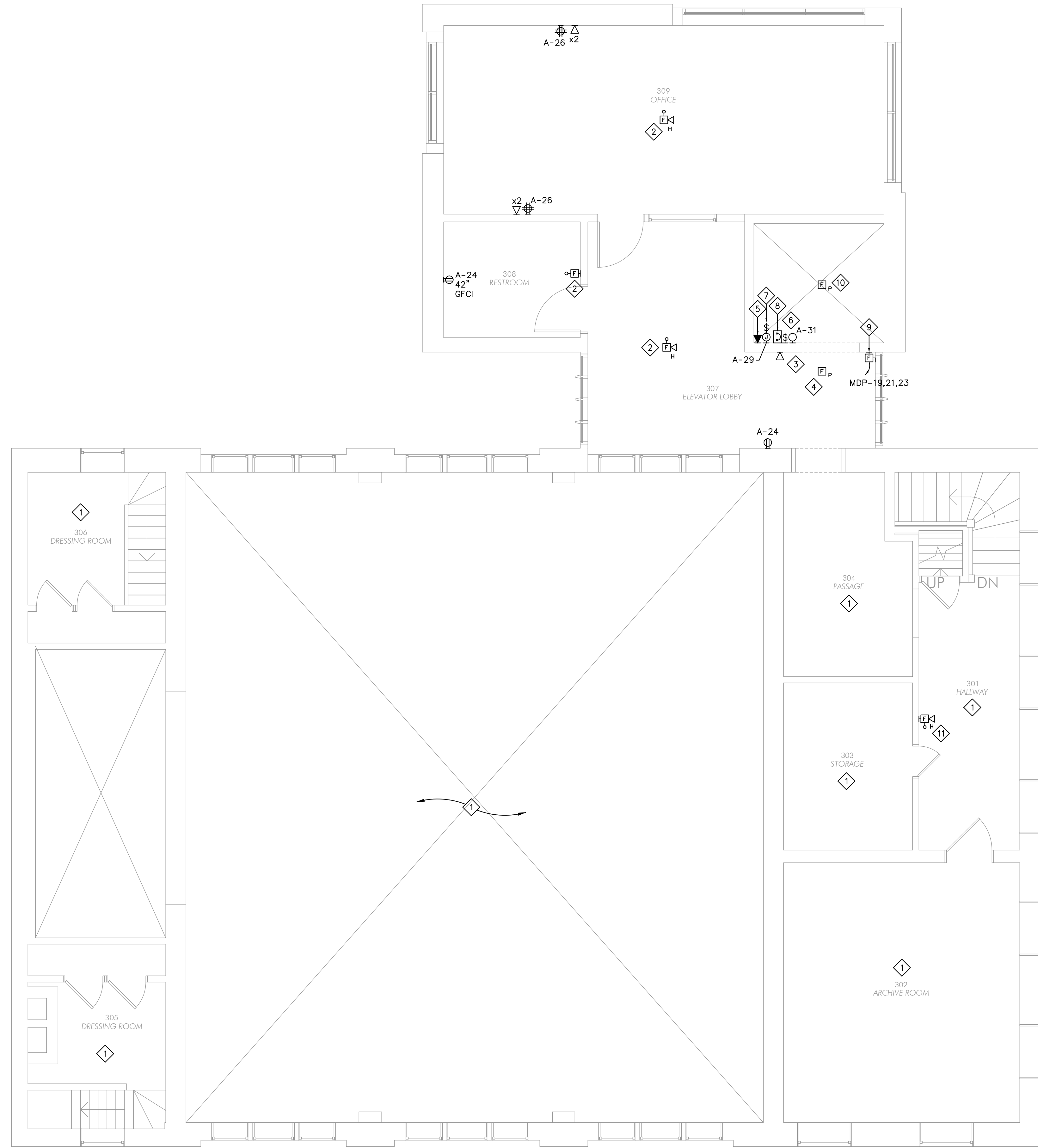


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SECOND FLOOR  
POWER PLAN

E221





**KEY NOTES**

- 1 NO ELECTRICAL WORK WITHIN THIS AREA UNLESS NOTED OTHERWISE.
- 2 PROVIDE NEW FIRE ALARM DEVICES AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND TIE INTO EXISTING FIRE ALARM PANEL. DEVICE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATIONS SHALL BE INSTALLED PER CODE AND ARE THE RESPONSIBILITY OF THE CONTRACTOR INSTALLING IT. ALL APPROVED FIRE ALARM CABLING SHALL BE INSTALLED IN CONDUIT IF REQUIRED BY LOCAL CODE.
- 3 PROVIDE 2-WAY COMMUNICATION SYSTEM AT ELEVATOR LANDING. ALL WIRING SHALL COMPLY WITH SECTIONS 1007.8.1 AND 1007.8.2 OF THE NATIONAL ELECTRIC CODE.
- 4 PROVIDE SMOKE DETECTOR AT ELEVATOR LANDING. CONNECT TO ELEVATOR RECALL AND TIE INTO EXISTING FIRE ALARM PANEL. COORDINATE EXACT REQUIREMENTS WITH ELEVATOR VENDOR.
- 5 PROVIDE CONNECTION TO ELEVATOR TELEPHONE. COORDINATE EXACT REQUIREMENTS WITH ELEVATOR VENDOR.
- 6 PROVIDE VAPOR TIGHT LED LIGHT FIXTURE, AND TOGGLE SWITCH FOR ON/OFF CONTROL OF LIGHT FIXTURE. MOUNT NEAR TOP OF ELEVATOR HOISTWAY. COORDINATE EXACT LOCATION WITH ELEVATOR SUPPLIER AND AUTHORITY HAVING JURISDICTION.
- 7 CONNECT DEDICATED, LABELED, LOCKABLE FUSED DISCONNECT FOR ELEVATOR CONTROLLER. FUSE PER EQUIPMENT MANUFACTURER'S RECOMMENDATION. VERIFY LOCATION WITH EQUIPMENT VENDOR.
- 8 PROVIDE 100A/3P SHUNT TRIP CIRCUIT BREAKER AND CONNECT TO ELEVATOR CONTROLLER. MOUNT ON WALL NEXT TO ELEVATOR EQUIPMENT CONTROL PANEL. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH ELEVATOR CONTRACTOR. PROVIDE A NORMALLY CLOSED CONTACT THAT OPENS ON ACTIVATION. VERIFY WITH ELEVATOR SUPPLIER. MAKE CONNECTION TO CONTROLLER FOR AUTOMATIC SHUT DOWN UPON ACTIVATION OF SMOKE, HEAT DETECTORS, AND FIRE ALARM SYSTEM.
- 9 PROVIDE 100A/3P, FUSED, LOCKABLE DISCONNECT SWITCH WITH (3)100A FUSES FOR ELEVATOR EQUIPMENT. REFER TO POWER RISER DIAGRAM ON SHEET E800 FOR ADDITIONAL INFORMATION.
- 10 PROVIDE SMOKE DETECTOR AT TOP OF ELEVATOR HOISTWAY. CONNECT TO ELEVATOR RECALL AND TIE INTO EXISTING FIRE ALARM PANEL. COORDINATE EXACT REQUIREMENTS WITH ELEVATOR VENDOR.
- 11 EXISTING FIRE ALARM DEVICE TO REMAIN AND SHOWN FOR REFERENCE ONLY.

**90%  
SUBMITTAL  
04-23-2021**



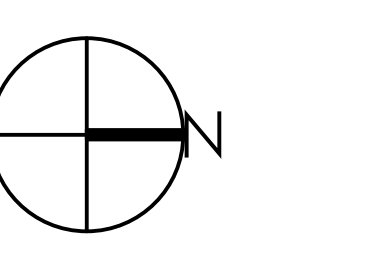
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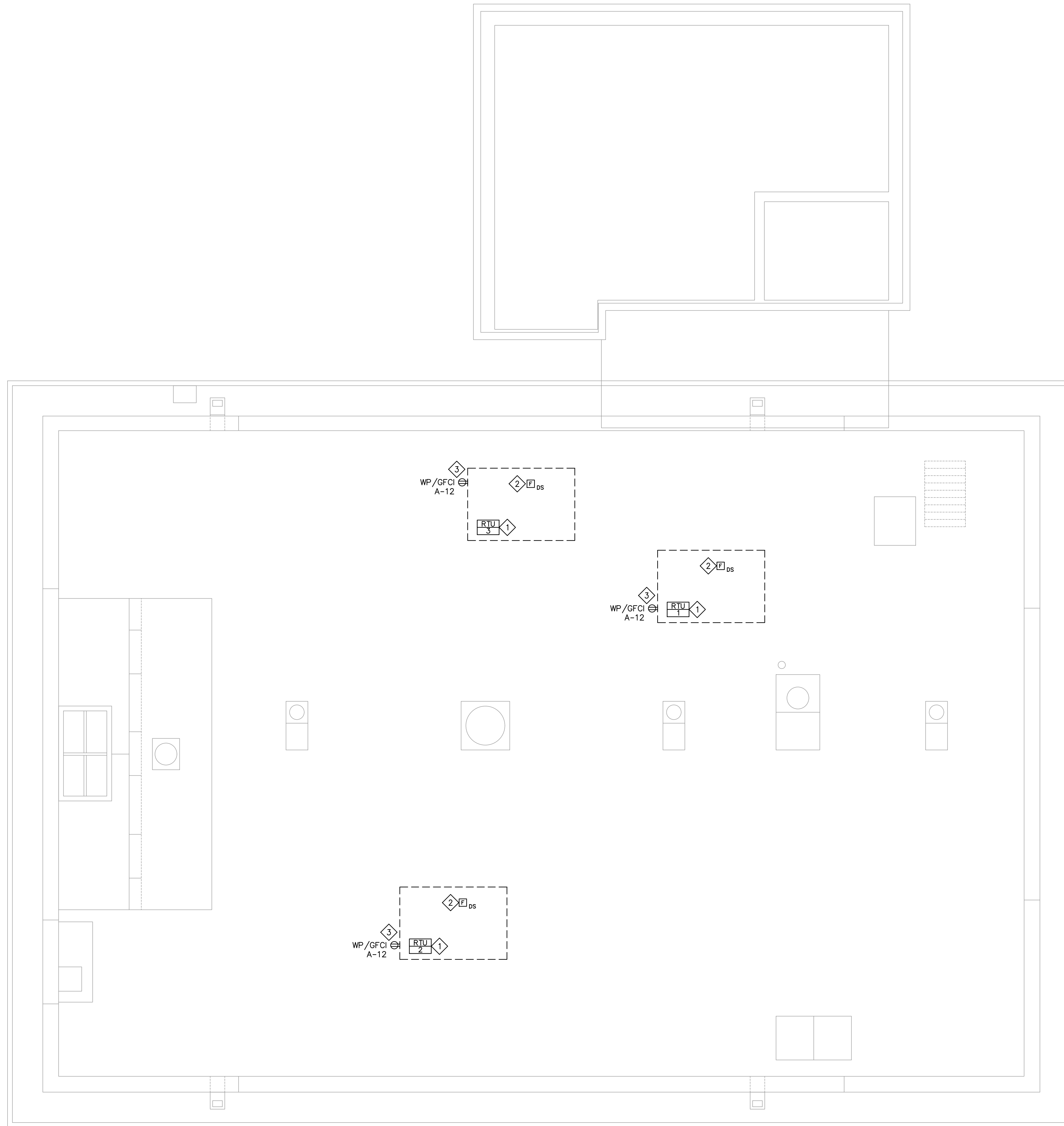


**1 THIRD FLOOR POWER PLAN**  
1/4" = 1'-0"

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THIRD FLOOR  
POWER PLAN

**E231**



- KEY NOTES**
- 1 NEW MECHANICAL EQUIPMENT. REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E800.
  - 2 E.C. TO FURNISH DUCT SMOKE DETECTOR. DETECTOR INSTALLED BY MECHANICAL CONTRACTOR. DETECTOR TO BE COMPLETE WITH AUXILIARY CONTACTS, BASE SAMPLING TUBES AND REMOTE STATUS INDICATOR/RESET SWITCH. SIMPLEX OR EQUAL. DUCT SMOKE DETECTORS TO BE ROUTED THROUGH FIRE ALARM CONTROL PANEL. ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS. COORDINATE LOCATION OF RESET SWITCHES WITH MECHANICAL CONTRACTOR.
  - 3 WEATHERPROOF/GFCI RECEPTACLE PROVIDED WITH ROOFTOP UNIT. ELECTRICAL CONTRACTOR SHALL PROVIDE A SEPARATE 120V CIRCUIT AS INDICATED TO UNIT FOR RECEPTACLE POWER. COORDINATE EXACT REQUIREMENTS WITH MECHANICAL CONTRACTOR.

**1** ROOF LEVEL POWER PLAN  
1/4" = 1'-0"

90%  
SUBMITTAL  
04-23-2021



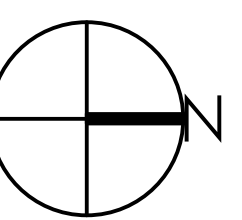
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ROOF LEVEL  
POWER PLAN

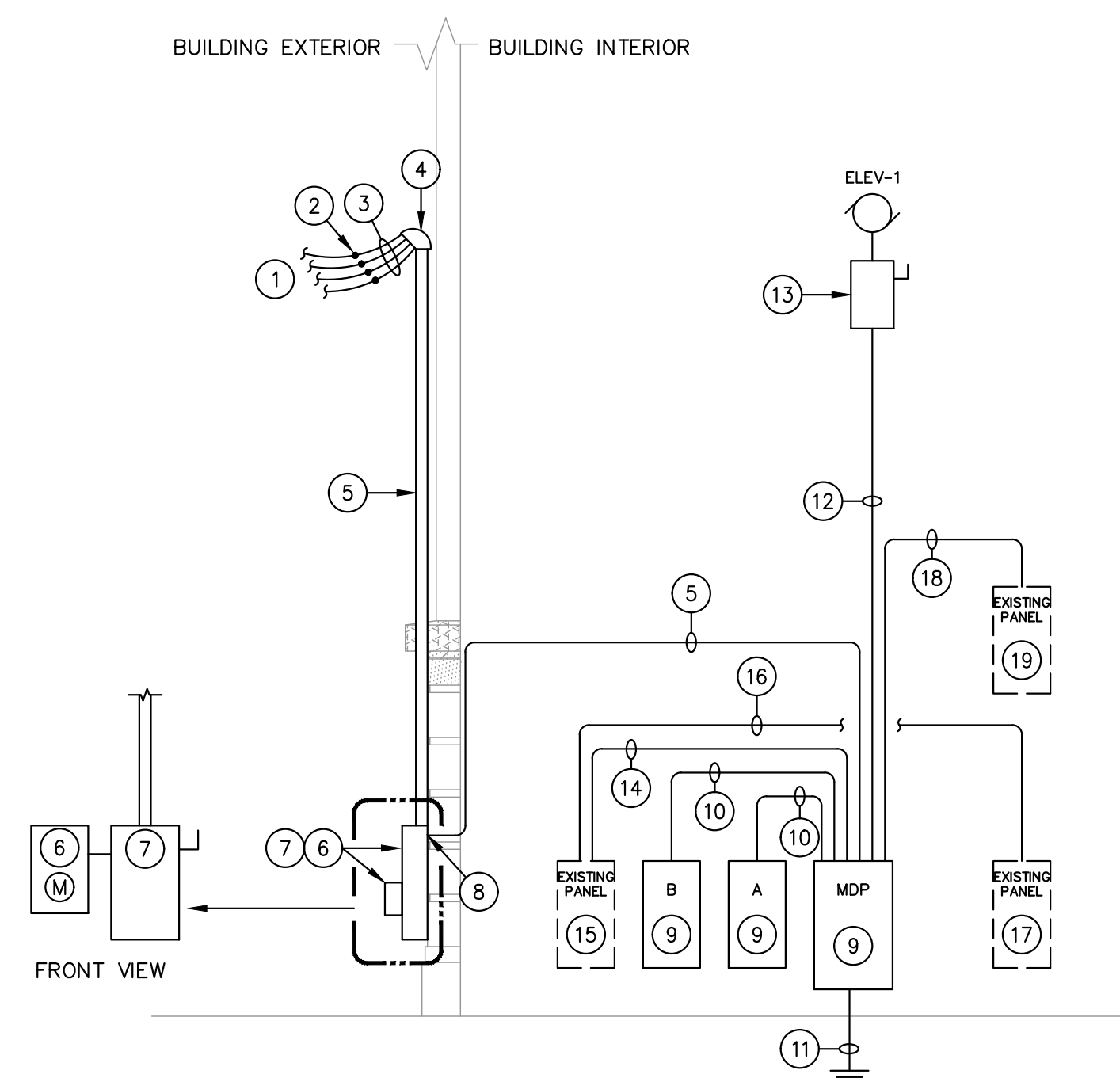
E241

## MECHANICAL EQUIPMENT SCHEDULE

NAME NO.	DESCRIPTION LOCATION	V/Ø	MCA	MOCP	HP	DISC. BY DISC. SIZE	DISC. TYPE DISC. LOC.	STARTER BY	CONDUIT SIZE CONDUCTORS	PANEL NAME CIRCUIT #	OCB SIZE OCB TYPE	NOTES
AC-1	AIR COMPRESSOR	120/1		15		DIV. 26 SEE NOTE	DIV. 26 SEE NOTE		3/4" 2#12, 1#12 GND.	MDP 27	20A/1P C.B.	6
AHU-1	AIR HANDLING UNIT	208/3	9	15	2.4	MFR NA	NA AT UNIT	MFR NA	3/4" 3#12, 1#12 GND.	MDP 2,4,6	15A/3P C.B.	1
AHU-2	AIR HANDLING UNIT	208/3	14	20	3.7	MFR NA	NA AT UNIT	MFR NA	3/4" 3#12, 1#12 GND.	MDP 8,10,12	20A/3P C.B.	1
B-1	BOILER ROOM	120/1				DIVISION 26 30A/1P	NEMA 1 AT UNIT		3/4" 2#12, 1#12 GND.	A 12	20A/1P C.B.	-
B-2	BOILER ROOM	120/1				DIVISION 26 30A/1P	NEMA 1 AT UNIT		3/4" 2#12, 1#12 GND.	A 12	20A/1P C.B.	-
B-3	BOILER ROOM	120/1				DIVISION 26 30A/1P	NEMA 1 AT UNIT		3/4" 2#12, 1#12 GND.	A 12	20A/1P C.B.	-
B-4	BOILER ROOM	120/1				DIVISION 26 30A/1P	NEMA 1 AT UNIT		3/4" 2#12, 1#12 GND.	A 12	20A/1P C.B.	-
CP-1	CIRCULATION PUMP FOR GWH-1	120/1			1/12	NA	NA	NA	3/4" 2#12, 1#12 GND.	A 28	20A/1P C.B.	-
CP-2	CIRCULATION PUMP FOR AHU-1	120/1			1/12	NA	NA	NA	3/4" 2#12, 1#12 GND.	A 28	20A/1P C.B.	-
CP-3	CIRCULATION PUMP FOR AHU-2	120/1			1/12	NA	NA	NA	3/4" 2#12, 1#12 GND.	A 28	20A/1P C.B.	-
CU-1	CONDENSING UNIT	208/3	35	50		DIVISION 26 60A/3P	NEMA 3R AT UNIT	MFR NA	3/4" 3#5, 1#10 GND.	MDP 14,16,18	50A/3P C.B.	2
CU-2	CONDENSING UNIT	208/3	39	60		DIVISION 26 60A/3P	NEMA 3R AT UNIT	MFR NA	1" 3#5, 1#10 GND.	MDP 20,22,24	60A/3P C.B.	2
EF-1	EXHAUST FAN LOWER LVL. R.R.	120/1			1/6	DIV. 26 SEE NOTE	DIV. 26 SEE NOTE		3/4" 2#12, 1#12 GND.	A 37	20A/1P C.B.	3
EF-2	EXHAUST FAN 1ST FLOOR R.R.	120/1			1/8	DIV. 26 SEE NOTE	DIV. 26 SEE NOTE		3/4" 2#12, 1#12 GND.	A 39	20A/1P C.B.	4
EF-3	EXHAUST FAN NEW ADDITION R.R.	120/1			1/12	DIV. 26 SEE NOTE	DIV. 26 SEE NOTE		3/4" 2#12, 1#12 GND.	A 5	20A/1P C.B.	5
EF-4	EXHAUST FAN BOILER ROOM	120/1			1/8				3/4" 2#12, 1#12 GND.	A 41	20A/1P C.B.	-
GWH-1	GAS WATER HEATER	120/1				DIV. 26 SEE NOTE	DIV. 26 SEE NOTE		3/4" 2#12, 1#12 GND.	A 35	20A/1P C.B.	6
HWCP-1	EXISTING HOT WATER CIRC. PUMP	120/1			1/3		EXISTING		3/4" 2#12, 1#12 GND.	A 38	20A/1P C.B.	7
HWCP-2	EXISTING HOT WATER CIRC. PUMP	120/1			1/3		EXISTING		3/4" 2#12, 1#12 GND.	A 40	20A/1P C.B.	7
HWCP-3	HOT WATER CIRC. PUMP	120/1			1/3	DIVISION 26 30A/1P	NEMA 1 AT UNIT		3/4" 2#12, 1#12 GND.	A 42	20A/1P C.B.	-
RTU-1	ROOFTOP UNIT ROOF	208/3	41	50	2.4	MFR NA	NA AT UNIT	MFR NA	3/4" 3#5, 1#10 GND.	MDP 1,3,5	50A/3P C.B.	1
RTU-2	ROOFTOP UNIT ROOF	208/3	41	50	2.4	MFR NA	NA AT UNIT	MFR NA	3/4" 3#5, 1#10 GND.	MDP 7,9,11	50A/3P C.B.	1
RTU-3	ROOFTOP UNIT ROOF	208/3	54	60	3.7	MFR NA	NA AT UNIT	MFR NA	1" 3#5, 1#10 GND.	MDP 13,15,17	60A/3P C.B.	1
SP-1	SUMP PUMP ELEVATOR PIT	120/1			1/2	SEE NOTE	SEE NOTE		3/4" 2#12, 1#12 GND.	A 33	20A/1P C.B.	8

### MECHANICAL EQUIPMENT SCHEDULE NOTES:

- VFD WITH INTEGRAL DISCONNECT PROVIDED BY MANUFACTURER. PROVIDE SINGLE POINT CONNECTION TO UNIT.
- PROVIDE DISCONNECT SWITCH AT UNIT AND CONNECT POWER TO UNIT.
- PROVIDE MANUAL MOTOR SWITCH MOUNTED IN LOWER LEVEL WOMEN'S RESTROOM. COORDINATE EXACT REQUIREMENTS WITH MECHANICAL CONTRACTOR.
- PROVIDE MANUAL MOTOR SWITCH MOUNTED IN FIRST LEVEL RESTROOM 108. COORDINATE EXACT REQUIREMENTS WITH MECHANICAL CONTRACTOR.
- EXHAUST FAN TO BE CONTROLLED BY/ INTERFACED WITH RESTROOM OCCUPANCY SENSING WALL SWITCH. REFER TO SHEET E121 FOR FURTHER INFORMATION. COORDINATE EXACT REQUIREMENTS WITH MECHANICAL CONTRACTOR.
- PROVIDE MANUAL MOTOR SWITCH ADJACENT TO EQUIPMENT. COORDINATE EXACT REQUIREMENTS WITH MECHANICAL CONTRACTOR.
- INTERCEPT EXISTING CONDUIT AND FEEDER WIRE AND EXTEND TO NEW ELECTRICAL PANEL "A" AS INDICATED.
- PROVIDE MANUAL MOTOR SWITCH MOUNTED ADJACENT TO SUMP PUMP. COORDINATE EXACT REQUIREMENTS WITH MECHANICAL CONTRACTOR.



## 1 POWER RISER DIAGRAM

### KEY NOTES

- NEW 600A, 208Y/120V, 3Ø, 4W SERVICE FEEDERS PROVIDED BY XCEL ENERGY.
- TIE-IN TO BUILDING SERVICE FEEDER BY XCEL ENERGY. COORDINATE EXACT REQUIREMENTS WITH XCEL ENERGY REPRESENTATIVE.
- SERVICE FEEDERS PROVIDED BY ELECTRICAL CONTRACTOR. REFER TO KEY NOTE 5 FOR FURTHER INFORMATION.
- ELECTRICAL CONTRACTOR TO PROVIDE SERVICE ENTRANCE WEATHER HEADS.
- ELECTRICAL CONTRACTOR TO PROVIDE TWO SETS OF 3" C.-4#350 KCMIL FROM WEATHER HEADS TO ELECTRICAL PANEL "MDP" IN BOILER ROOM. LEAVE 10' OF EXCESS FEEDER WIRE AT WEATHER HEADS FOR XCEL ENERGY TIE-IN.
- PROVIDE COMBINATION METER AND C/T CABINET. COORDINATE EXACT REQUIREMENTS WITH XCEL ENERGY PRIOR TO BID.
- PROVIDE A NEMA 3R, 600A/3P, SERVICE ENTRANCE RATED DISCONNECT SWITCH WITH (3)600A FUSES ON EXTERIOR OF BUILDING.
- ELECTRICAL CONTRACTOR TO DRILL THROUGH WALL AND EXTEND TWO SETS OF 3" C.-4#350 KCMIL TO NEW ELECTRICAL PANEL "MDP".
- ELECTRICAL CONTRACTOR TO PROVIDE NEW ELECTRICAL PANELS. REFER TO PANELBOARD SCHEDULES ON THIS SHEET FOR FURTHER INFORMATION.
- ELECTRICAL CONTRACTOR TO PROVIDE 1-1/4" C.-4#3, 1#8 GND.
- GROUND SERVICE PER NEC REQUIREMENTS.
- PROVIDE 1-1/2" C.-3#1, 1#6 GND.
- PROVIDE 200A/3P DISCONNECT SWITCH WITH (3)125A FUSES. COORDINATE EXACT REQUIREMENTS WITH ELEVATOR SUPPLIER.
- ELECTRICAL CONTRACTOR TO PROVIDE 1" C.-2#3, 1#8 GND FROM NEW "MDP" TO EXISTING BOILER ROOM PANEL.
- EXISTING ELECTRICAL PANEL IN BOILER ROOM TO REMAIN. MAINTAIN EXISTING CIRCUITRY TO EXISTING LOADS CIRCUITED TO THIS PANEL. INTERCEPT EXISTING INCOMING MAIN CONDUIT AND FEEDER WIRE AND EXTEND TO NEW "MDP" AS INDICATED.
- MAINTAIN EXISTING CONDUIT AND 60A FEEDER WIRE TO EXISTING ELECTRICAL PANEL AT BAR.
- EXISTING ELECTRICAL PANEL IN BAR TO REMAIN. MAINTAIN EXISTING CIRCUITRY TO EXISTING LOADS CIRCUITED TO THIS PANEL.
- ELECTRICAL CONTRACTOR TO PROVIDE 1" C.-2#3, 1#8 GND FROM NEW "MDP" TO EXISTING "BACK STAGE" ELECTRICAL PANEL.
- EXISTING ELECTRICAL PANEL AT BACK STAGE AREA TO REMAIN. MAINTAIN EXISTING CIRCUITRY TO EXISTING LOADS CIRCUITED TO THIS PANEL. INTERCEPT EXISTING INCOMING MAIN CONDUIT AND FEEDER WIRE AND EXTEND TO NEW "MDP" AS INDICATED.

PANEL MDP														
Location: Stockroom		AIC RATING: 42,000										208/120 Volt, 3Ø, 4w		
Mounting: Surface												Main: LUGS 225A		
Circuit Description		KVA	CB	NO	NOTE	A	B	C	NOTE	NO	CB	KVA	Circuit Description	
RTU-1	RTU-1	4.9		1		X				2	20/1	0.6	LOWER LEVEL VESTIBULE/LOBBY/STORAGE LIGHTING	
		4.9	50/3	3	B	X				4	20/1	0.8	LOBBY LOUNGE/PASSAGE RECEPTACLES	
		4.9		5			X			6	20/1	0.2	ELEVATOR PIT RECEPTACLE	
RTU-2	RTU-2	4.9		7		X				8	20/1	0.6	RECEPTACLES AT AHU's & CONDENSING UNITS	
		4.9	50/3	9	B	X				10	20/1	0.3	MOTORIZED DAMPERS	
		4.9		11			X			12	20/1	0.6	RECEPTACLES AT ROOFTOP UNITS	
RTU-3	RTU-3	6.5		13	B	X				14	20/1	0.4	FIRST LEVEL RESTROOM RECEPTACLES	
		6.5	60/3	15			X			16	20/1	1.1	FIRST LEVEL OFFICE 110 RECEPTACLES	
		6.5		17				X		18	20/1	0.8	FIRST LEVEL CONVENIENCE RECEPTACLES	
		6.6		19				X		20	20/1	0.4	SECOND LEVEL LOBBY / RESTROOM RECEPTACLE	
ELEVATOR	ELEVATOR	6.6	100/3	21	B	X				22	20/1	0.8	SECOND LEVEL OFFICE 208 RECEPTACLES	
		6.6		23			X			24	20/1	0.8	THIRD LEVEL LOBBY / RESTROOM RECEPTACLE	
SHUNT TRIP	SHUNT TRIP	6.6		25				X		26	20/1	0.8	THIRD LEVEL OFFICE 308 RECEPTACLES	
SPARE	SPARE			27					X	28	20/1		SPARE	
SPARE	SPARE			29				X		30	20/1		SPARE	
SPARE	SPARE			31			X			32	20/1		SPARE	
BOILER ROOM SUB-PANEL	BOILER ROOM SUB-PANEL	7.5		33			X			34	100/2	4.0	SPARE	
		7.5	100/2	35				X		36	100/2	4.0	BACK STAGE SUB-PANEL	
		6.3		37			X			38		7.6	SPARE	
PANEL A	PANEL A	7.6	100/3	39			X			40	100/3	7.4	PANEL B	
		4.9		41				X		42		5.2	SPARE	
CONNECTED KVA:		165.8											DESIGN DEMAND KVA:	166.2
CONNECTED HIGH PHASE AMPS:		509.2											DESIGN DEMAND AMPS:	461.7

MDP PANEL NOTES:  
A - PROVIDE CIRCUIT BREAKER WITH LOCK-ON DEVICE.  
B - PROVIDE HACR TYPE CIRCUIT BREAKER.  
BALANCE PHASE LOADS TO WITHIN 10% OF EACH OTHER.

### TOTAL LOAD SUMMARY

	CONNECTED KVA	DESIGN FACTOR	DESIGN DEMAND KVA
LIGHTING	4.0	1.25	5.0
RECEPTACLES	20.9	1.0	15.5
SIGN	0.0	1.25	0.0
WATER HEATER	0.8	1.0	0.8
HVAC - LARGEST	19.5	1.25	24.4
HVAC - REMAINING	66.2	1.0	66.2
HVAC - NON COINCIDENT	0.0	1.0	0.0
MISCELLANEOUS	52.4	1.0	52.4
TOTAL KVA:	165.8		166.2
TOTAL AMPS:	460.6		461.7

PANEL A														
Location: Stockroom		AIC RATING: 42,000										208/120 Volt, 3Ø, 4w		
Mounting: Surface												Main: LUGS 225A		
Circuit Description		KVA	CB	NO	NOTE	A	B	C	NOTE	NO	CB	KVA	Circuit Description	
LOWER LEVEL VESTIBULE/LOBBY/STORAGE LIGHTING	LOWER LEVEL VESTIBULE/LOBBY/STORAGE LIGHTING	1.0	20/1	1		X				2	20/1	0.6	LOWER LEVEL VESTIBULE/LOBBY/STORAGE RECEPTACLES	
FIRST LEVEL LOBBY/STORAGE LIGHTING	FIRST LEVEL LOBBY/STORAGE LIGHTING	1.0	20/1	3			X			4	20/1	0.8	LOBBY LOUNGE/PASSAGE RECEPTACLES	
SECOND LEVEL ELEVATOR LOBBY/OFFICE LIGHTING	SECOND LEVEL ELEVATOR LOBBY/OFFICE LIGHTING	1.0	20/1	5				X		6	20/1	0.2	ELEVATOR PIT RECEPTACLE	
THIRD LEVEL ELEVATOR LOBBY/OFFICE LIGHTING	THIRD LEVEL ELEVATOR LOBBY/OFFICE LIGHTING	1.0	20/1	7		X				8	20/1	0.6	RECEPTACLES AT AHU's & CONDENSING UNITS	
SPARE	SPARE			9			X			10	20/1	0.3	MOTORIZED DAMPERS	
SPARE	SPARE			11				X		12	20/1	0.6	RECEPTACLES AT ROOFTOP UNITS	
SPARE	SPARE			13		X				14	20/1	0.4	FIRST LEVEL RESTROOM RECEPTACLES	
SPARE	SPARE			15			X			16	20/1	1.1	FIRST LEVEL OFFICE 110 RECEPTACLES	
SPARE	SPARE			17				X		18	20/1	0.8	FIRST LEVEL CONVENIENCE RECEPTACLES	
SPARE	SPARE			19		X				20	20/1	0.4	SECOND LEVEL LOBBY / RESTROOM RECEPTACLE	
SPARE	SPARE			21				X		22	20/1	0.8	SECOND LEVEL OFFICE 208 RECEPTACLES	
SPARE	SPARE			23				X		24	20/1	0.4	THIRD LEVEL LOBBY / RESTROOM RECEPTACLE	
SPARE	SPARE			25		X				26	20/1	0.8	THIRD LEVEL OFFICE 308 RECEPTACLES	
AIR COMPRESSOR	AIR COMPRESSOR	1.4	20/1	27			X			28	20/1		SPARE	
ELEVATOR CONTROLLER	ELEVATOR CONTROLLER	0.2	20/1	29				X		30	20/1		SPARE	
ELEVATOR PIT LIGHT	ELEVATOR PIT LIGHT	0.2	20/1	31				X		32	20/1		SPARE	
ELEVATOR SUMP PUMP (SP-1)	ELEVATOR SUMP PUMP (SP-1)	0.2	20/1	33				X		34	20/1	0.8	BOILERS	
GAS WATER HEATER (GWH-1)	GAS WATER HEATER (GWH-1)	0.2	20/1	35				X		36	20/1	0.3	CIRC PUMPS (CP-1,2,3)	
EXHAUST FAN (EF-1)	EXHAUST FAN (EF-1)	0.5	20/1	37		X				38	20/1	0.8	XHWCP-1	
EXHAUST FAN (EF-2)	EXHAUST FAN (EF-2)	0.4	20/1	39				X		40	20/1	0.8	XHWCP-2	
EXHAUST FAN (EF-4)	EXHAUST FAN (EF-4)	0.4	20/1	41				X		42	20/1	0.8	XHWCP-3	
CONNECTED KVA:		18.8											DESIGN DEMAND KVA:	20.0
CONNECTED HIGH PHASE AMPS:		63.3											DESIGN DEMAND AMPS:	55.6

### PANEL A LOAD SUMMARY

	CONNECTED KVA	DESIGN FACTOR	DESIGN DEMAND KVA
LIGHTING	4.0	1.25	5.0
RECEPTACLES	7.5	1.0	7.5
SIGN	0.0	1.25	0.0
WATER HEATER	0.8	1.0	0.8
HVAC - LARGEST	0.8	1.25	1.0
HVAC - REMAINING	2.9	1.0	2.9
HVAC - NON COINCIDENT	0.0	1.0	0.0
MISCELLANEOUS	2.8	1.0	2.8
TOTAL KVA:	18.8		20.0
TOTAL AMPS:	52.2		55.6

PANEL B													
Location: Stockroom		AIC RATING: 42,000										208/120 Volt, 3Ø, 4w	
Mounting: Surface												Main: LUGS 225A	
Circuit Description		KVA	CB										